

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 29AIN MEHEFIN, 2017

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

**Rhif ar yr
Agenda** **Eitem**

3. **RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 5 - 114)

4. **RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO.** (Tudalennau
115 - 194)

5. **RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO.**
(Tudalennau 195 - 210)

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 29 MEHEFIN 2017
ON 29 JUNE 2017**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**

*Ardal
Dwyrain/
Area East*



ADDENDUM – Area East

<i>Application Number</i>	E/34887
<i>Proposal & Location</i>	RUN OF RIVER HYDRO ELECTRIC STATION COMPRISING OF AN INTAKE, BURIED PIPELINE, POWER HOUSE BUILDING AND OUTFALL AT YSTRADFFIN HYDROPOWER PROJECT, RHANDIRMWYN, LLANDOVERY

DETAILS:

CONSULTATIONS

Neighbours/Public - One further letter of support to the application has been received.

The Authority's Landscape Officer has requested that two landscaping conditions are applied to any permission in order to consider that the landscaping proposed will have a comprehensive and accurate scheme in terms of the Ash, Alder, Birch, and Willow species and their general specification detail, and that the scheme is fully implemented.

The Authority's Planning Ecologist and NRW remain in discussions regarding concerns in relation to the bryophyte assessments and work is ongoing regarding the production and subsequent support of a Test of Likely Significant Effect (TLSE).

RECOMMENDATION

Therefore, it remains that the application is recommended for approval, subject to the successful conclusion to the TLSE between the Planning Ecologist and NRW.

ADDENDUM – Area East

<i>Application Number</i>	E/35019
<i>Proposal & Location</i>	CAMPING SITE & PARKING, ACCESS & FACILITIES BLOCK AT TIRBACH, BRECHFA, CARMARTHEN, SA32 7RA

DETAILS:

CONSULTATIONS

In response to the concerns raised in relation to noise and general disturbance, the Head of Public Health Services & Public Protection has now provided the Authority with a formal response; the Head of Public Health Services & Public Protection has no adverse comments and has provided the Authority with general advice regarding the management and supervision of the proposed campsite and also advice in relation to the Environmental Protection Act 1990.

An amended 1:500 scale Site Plan has been submitted showing further landscaping which includes the planting of trees either side of the new vehicular access and along the perimeter the proposed parking area; the trees will act as a natural screen. In light of the amended plan, an additional condition will be imposed as follows:

- 20 All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding season following the completion of the development and any trees or plants which within a period of 5 years from the commencement of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variations and thereafter shall be retained in perpetuity.

REASON

- 20 In the interest of visual amenity and to preserve a satisfactory standard of local environment. (Policy EQ4 of the Carmarthenshire LDP)

Condition No.7 is to be amended as follows:

- 7 The existing means of vehicular access into the site off the B4310 road shall be permanently stopped up, and the public highway reinstated to the written approval of the Local Planning Authority, within one month of the new means of vehicular access herein approved, being brought into use.

ADDENDUM – Area East

<i>Application Number</i>	E/35434
<i>Proposal & Location</i>	SECOND STOREY EXTENSION ABOVE EXISTING GROUND FLOOR REAR EXTENSION AT 3 CAEFFYNNON, LLANDYBIE, AMMANFORD, SA18 2TH

DETAILS:

CONSULTATIONS

Local Members – County Councillor D Nicholas has requested that the Planning Committee conduct a site visit for this application. He believes that the proximity and the relationship between the proposed extension and the window next door property greatly restricts the amount of light entering the next door property. He would therefore ask that the Committee arrange a site visit to see for themselves the impact of the proposed extension.

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

29 MEHEFIN 2017

29 JUNE 2017

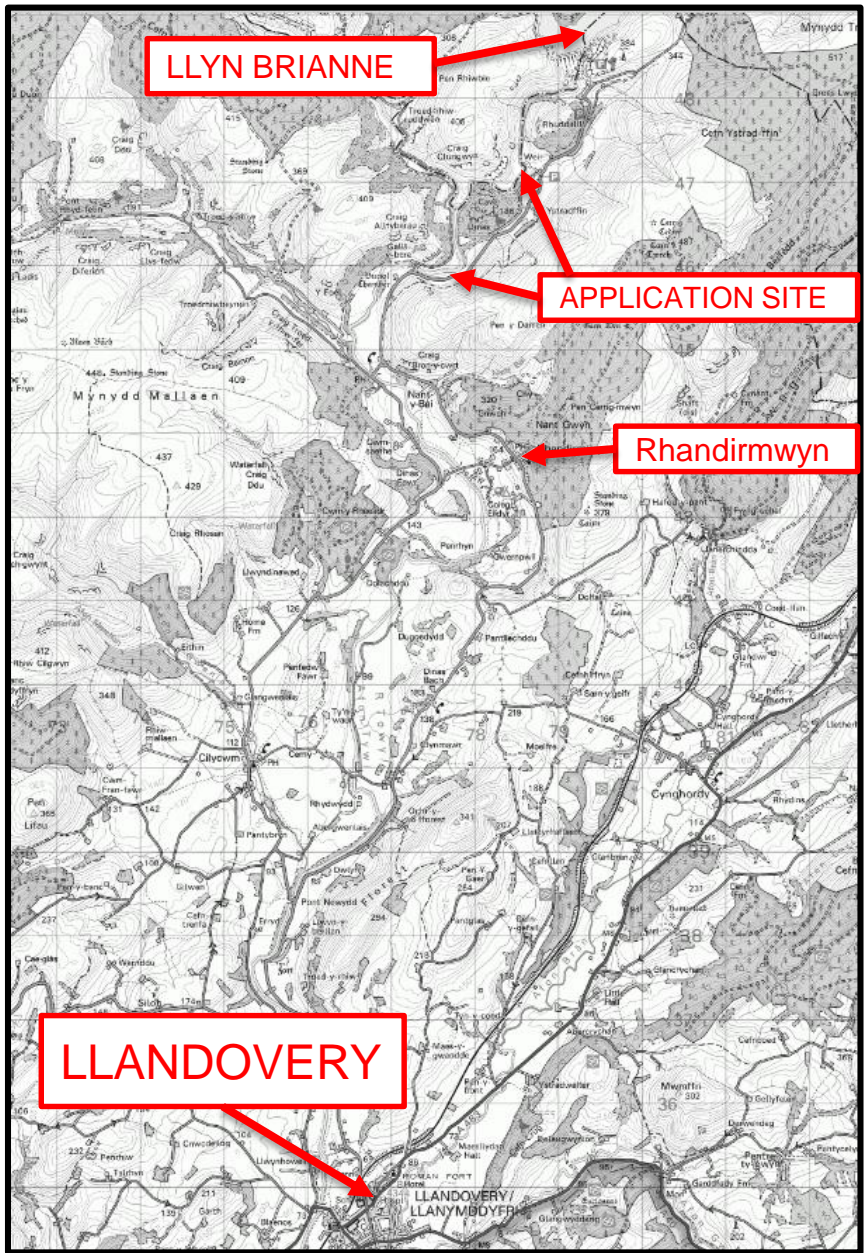
***RHANBARTH Y
DWYRAIN***

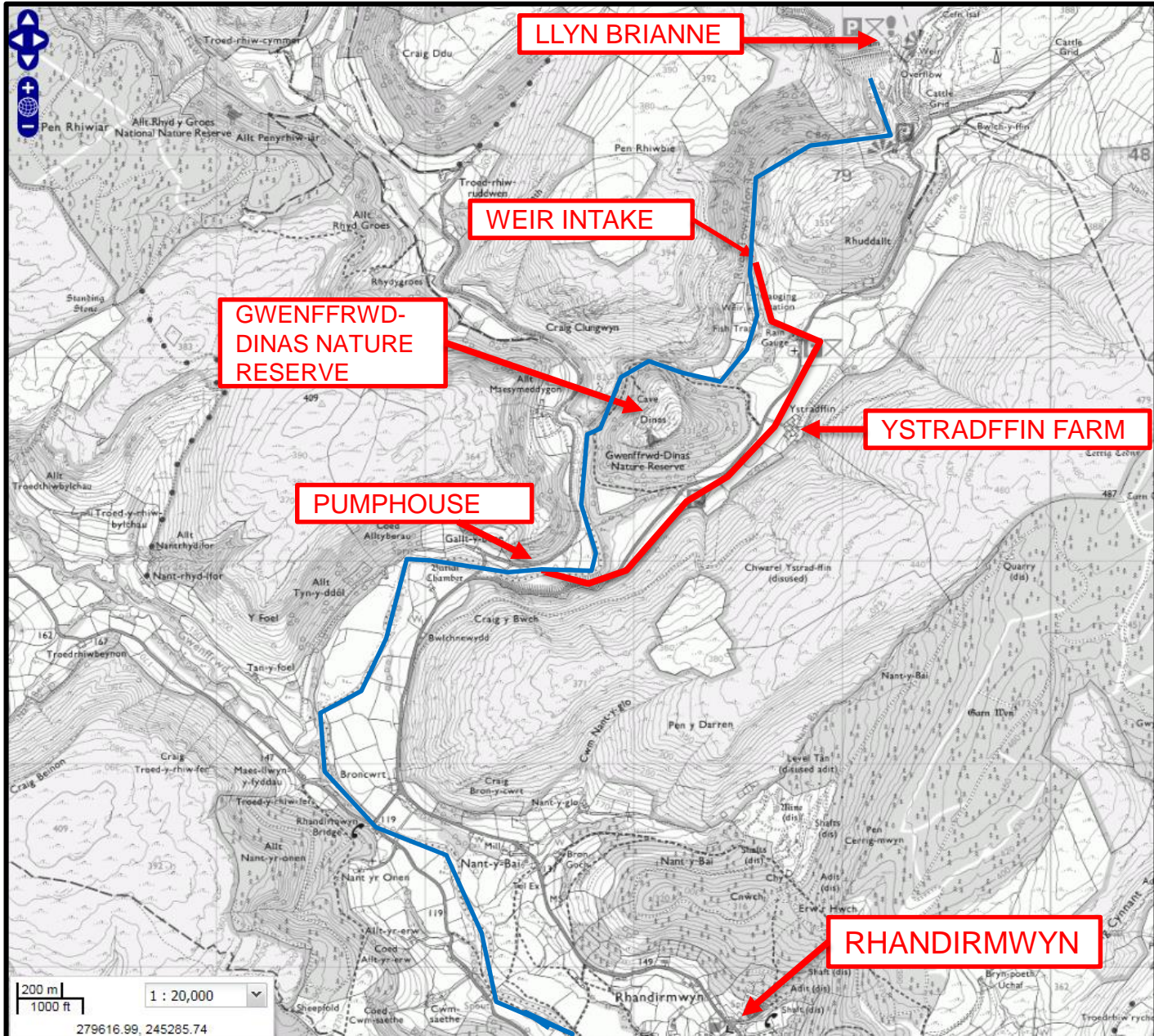
**AREA
EAST**

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

E/34887

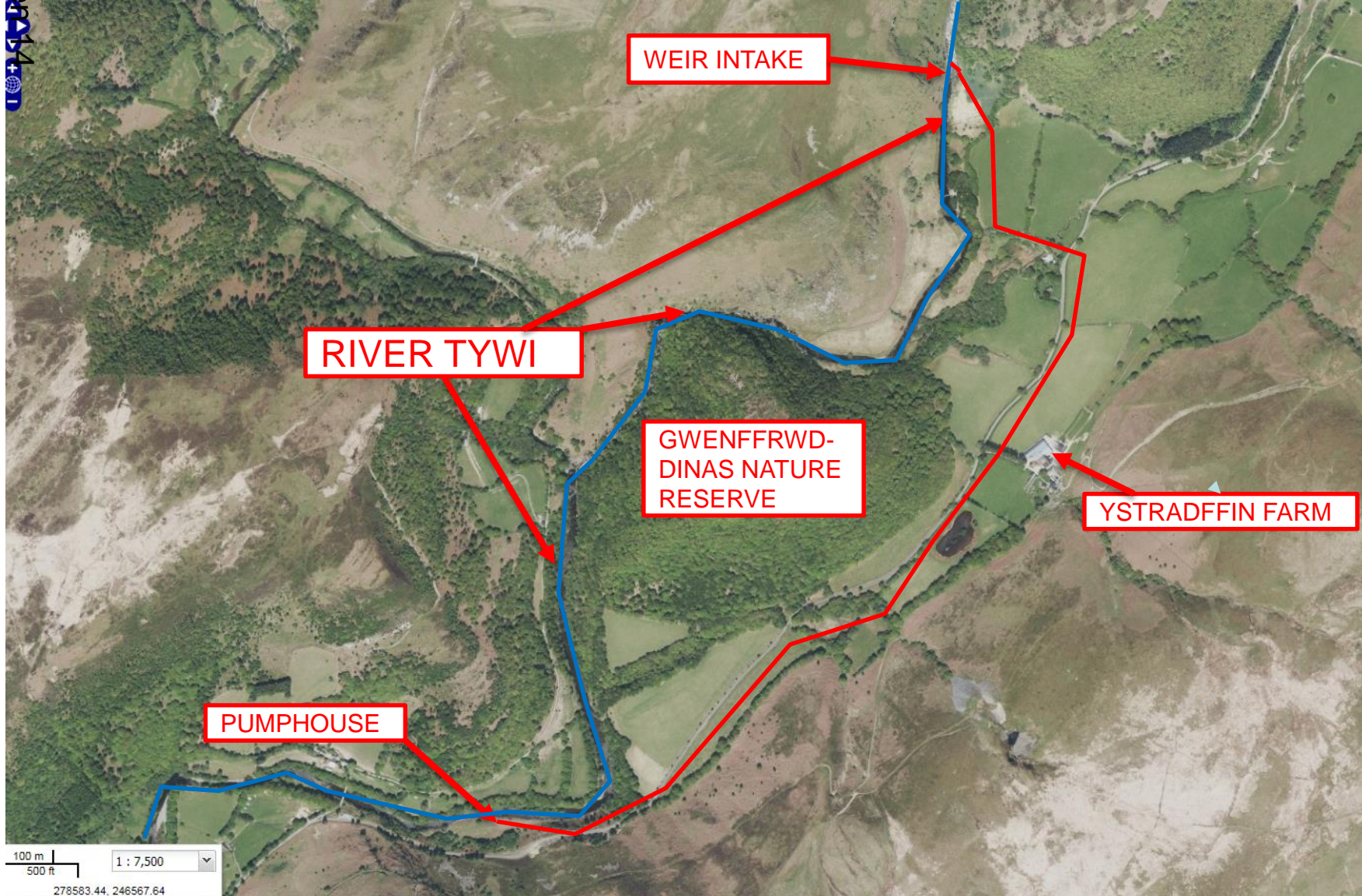




E/34887

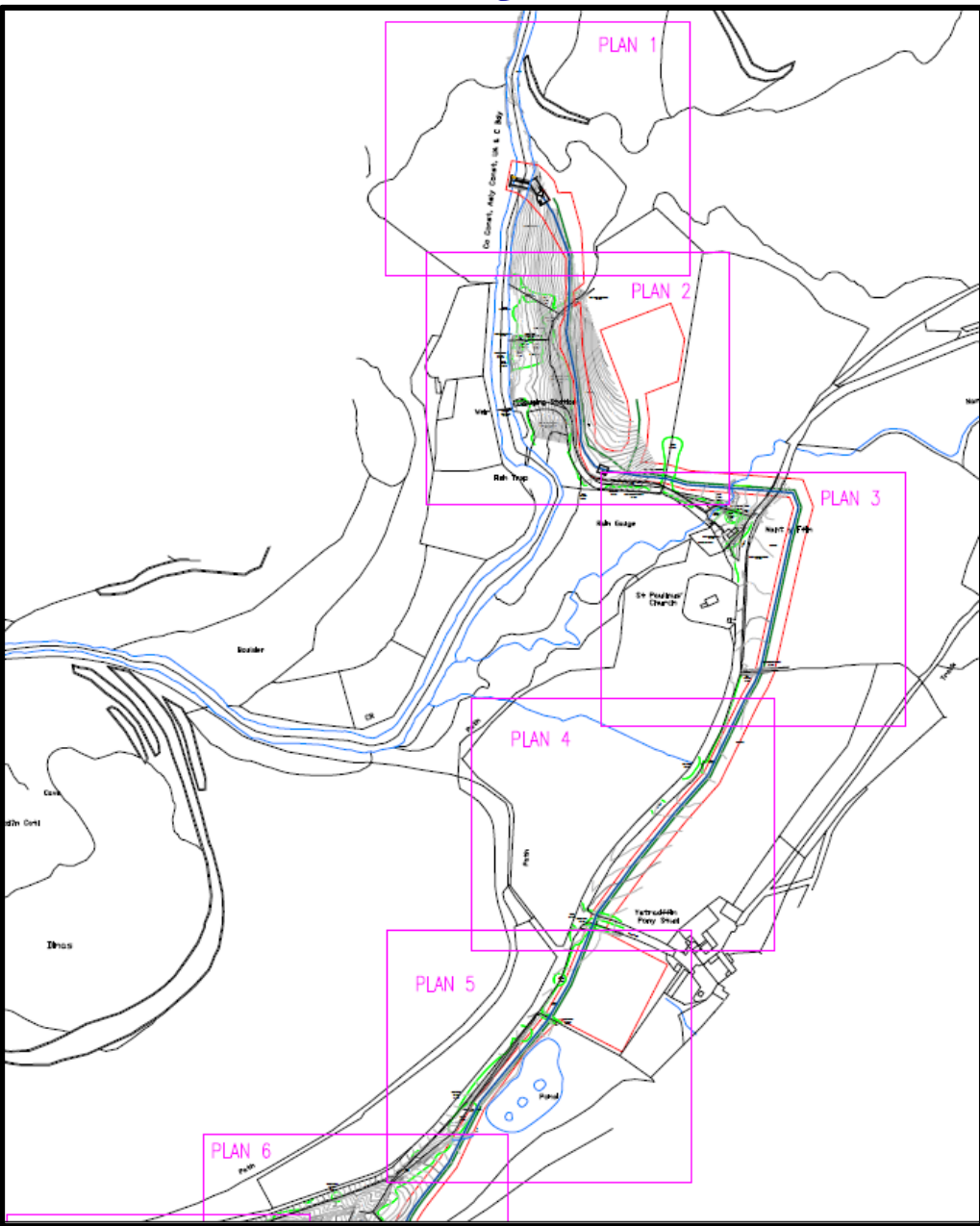
Aerial Photo of Site

Tudalen 4



E/34887

Key Plan of HEP Route

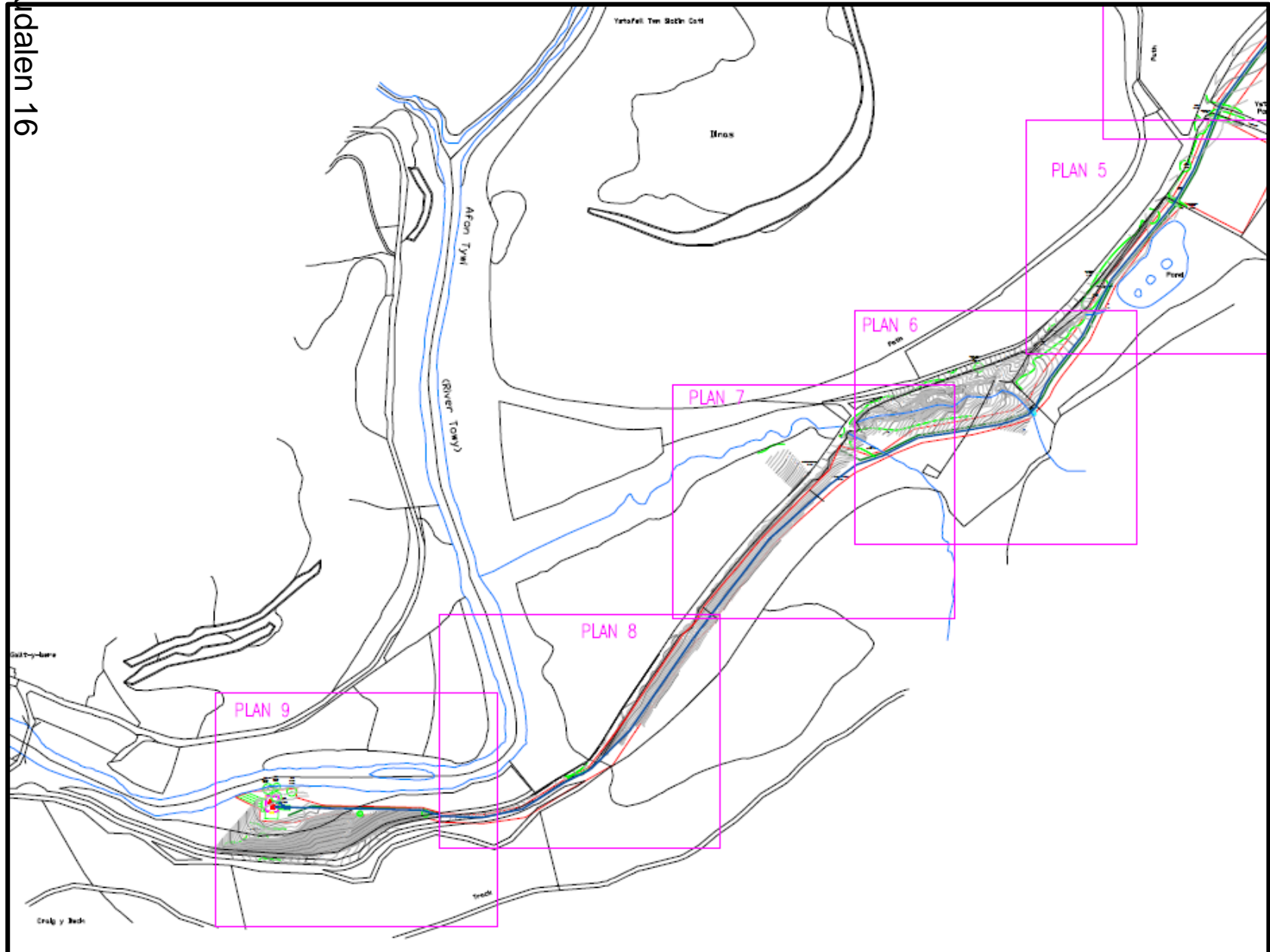


Tudalen 15

E/34887

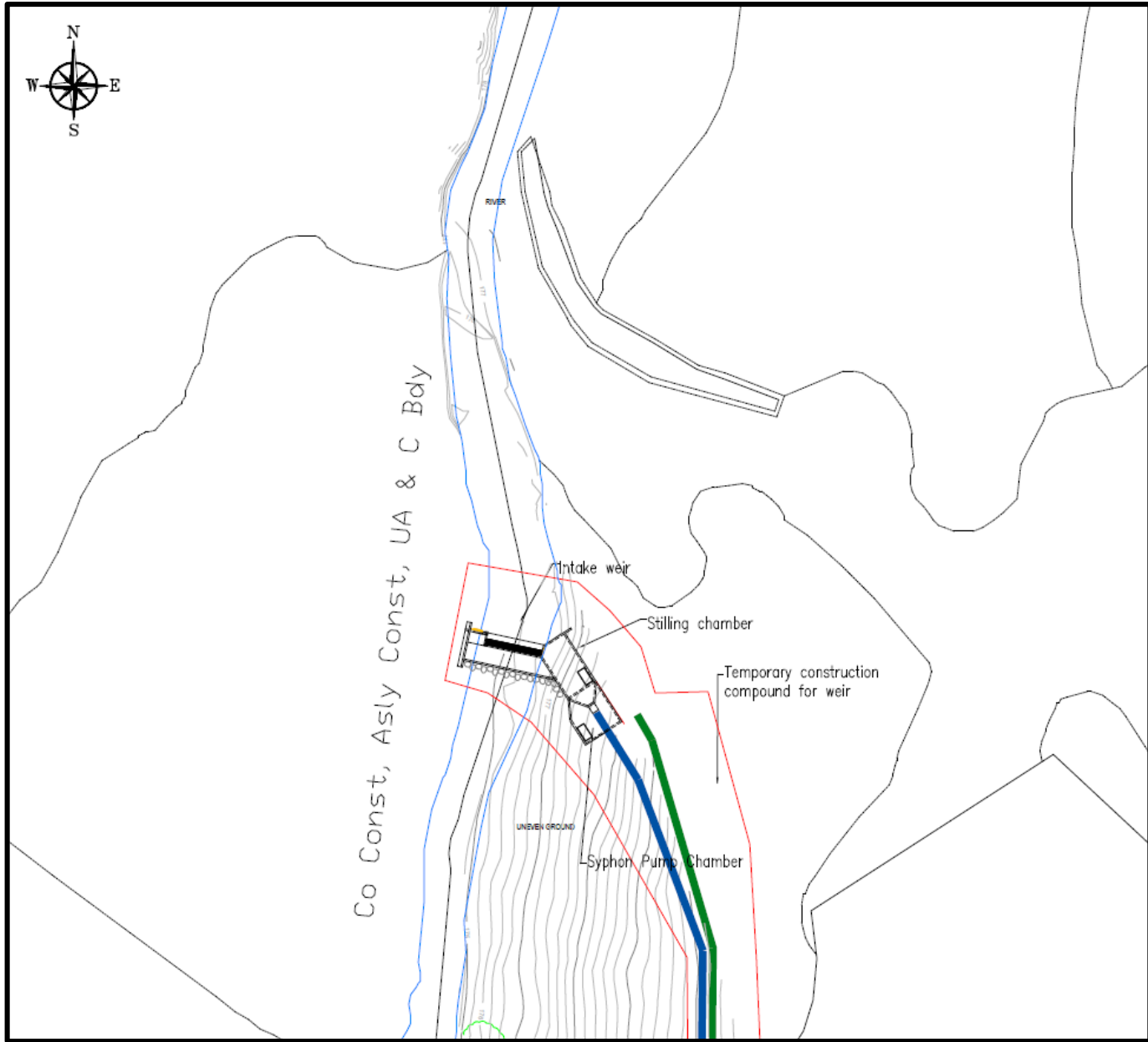
Key Plan of HEP Route

Tudalen 16



Gall-y-bwrn

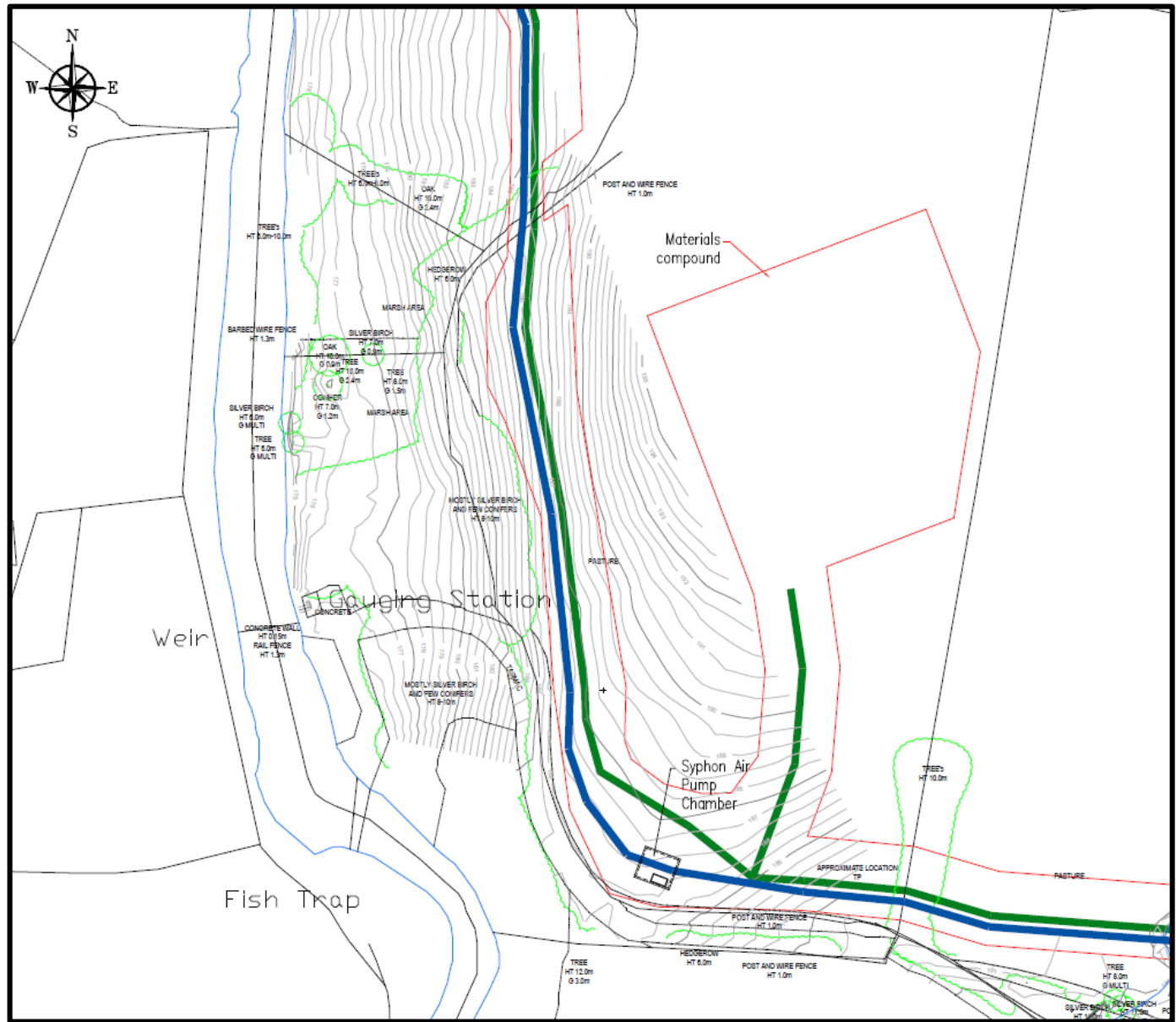
Crug y Bedd

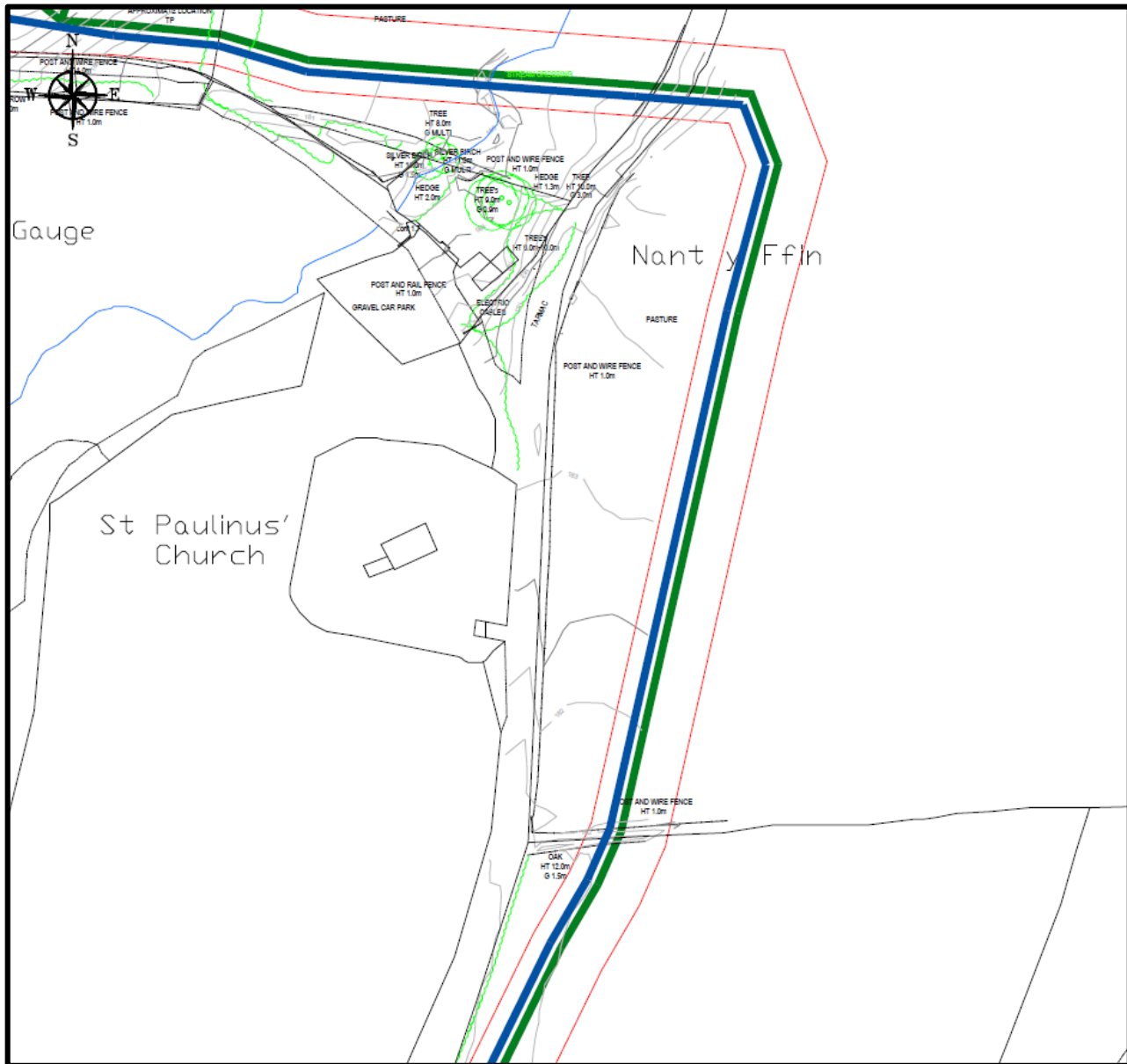


E/34887

HEP Layout Plan

Tudalen 18

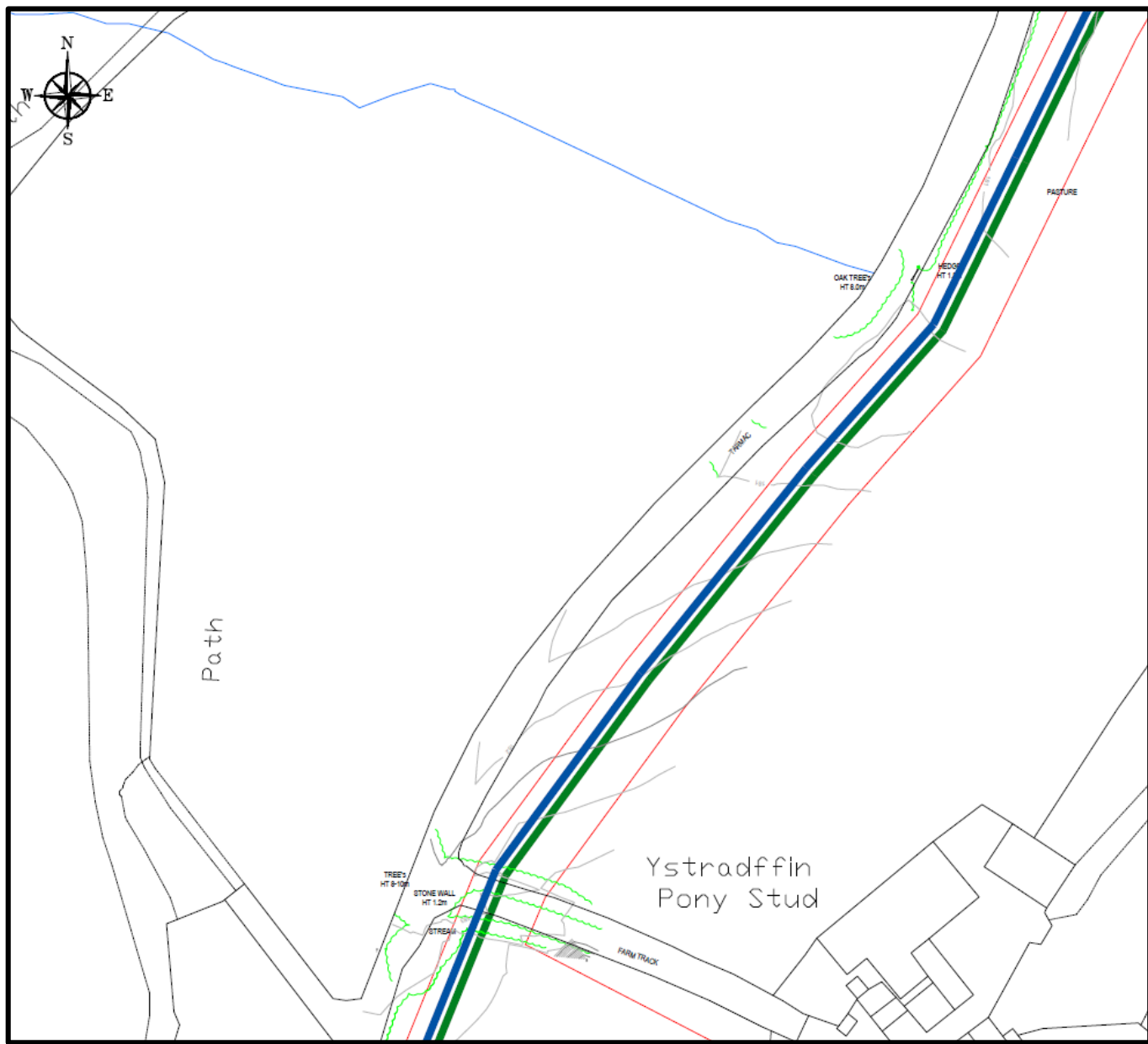


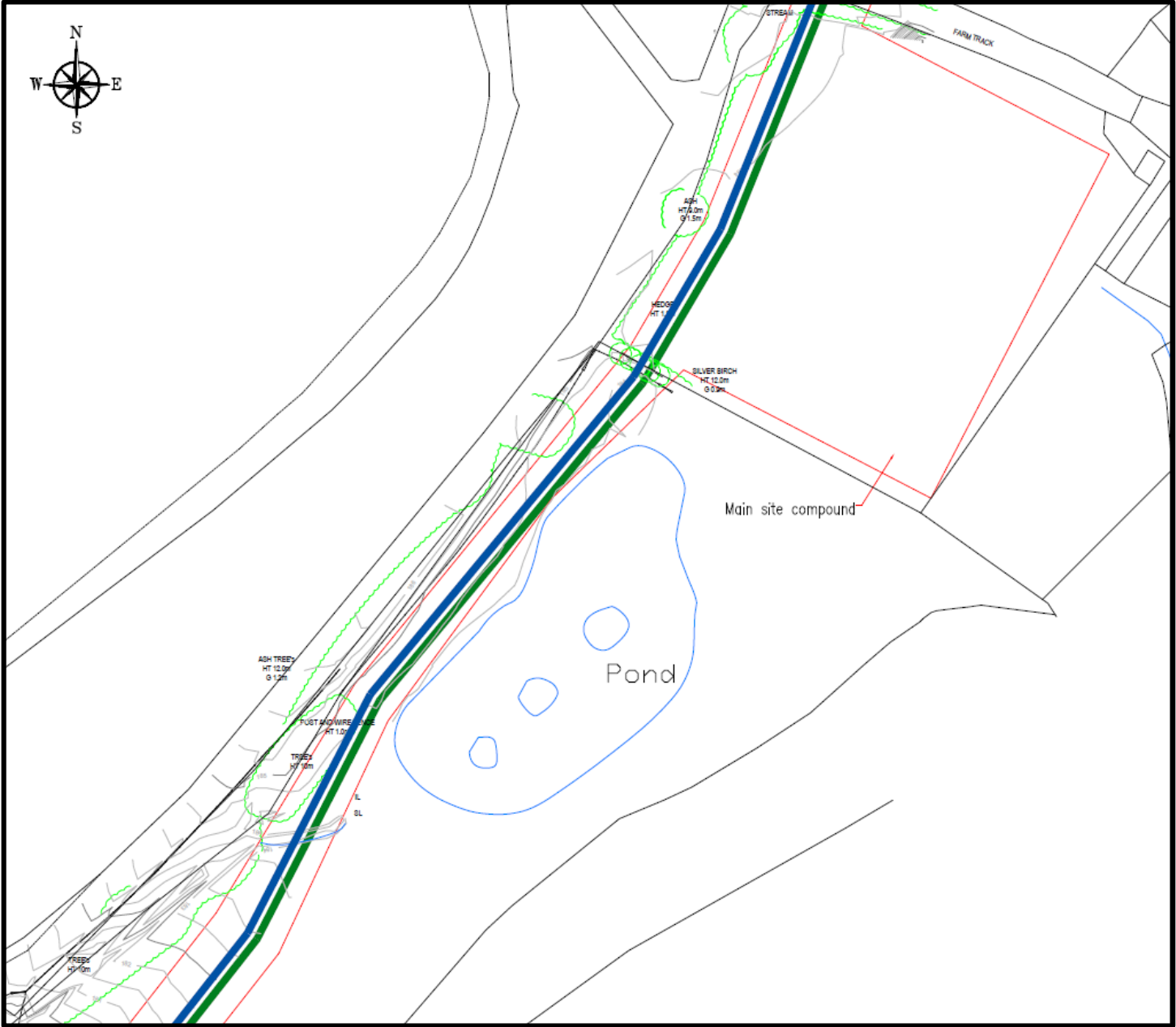


E/34887

HEP Layout Plan

Tudalen 20



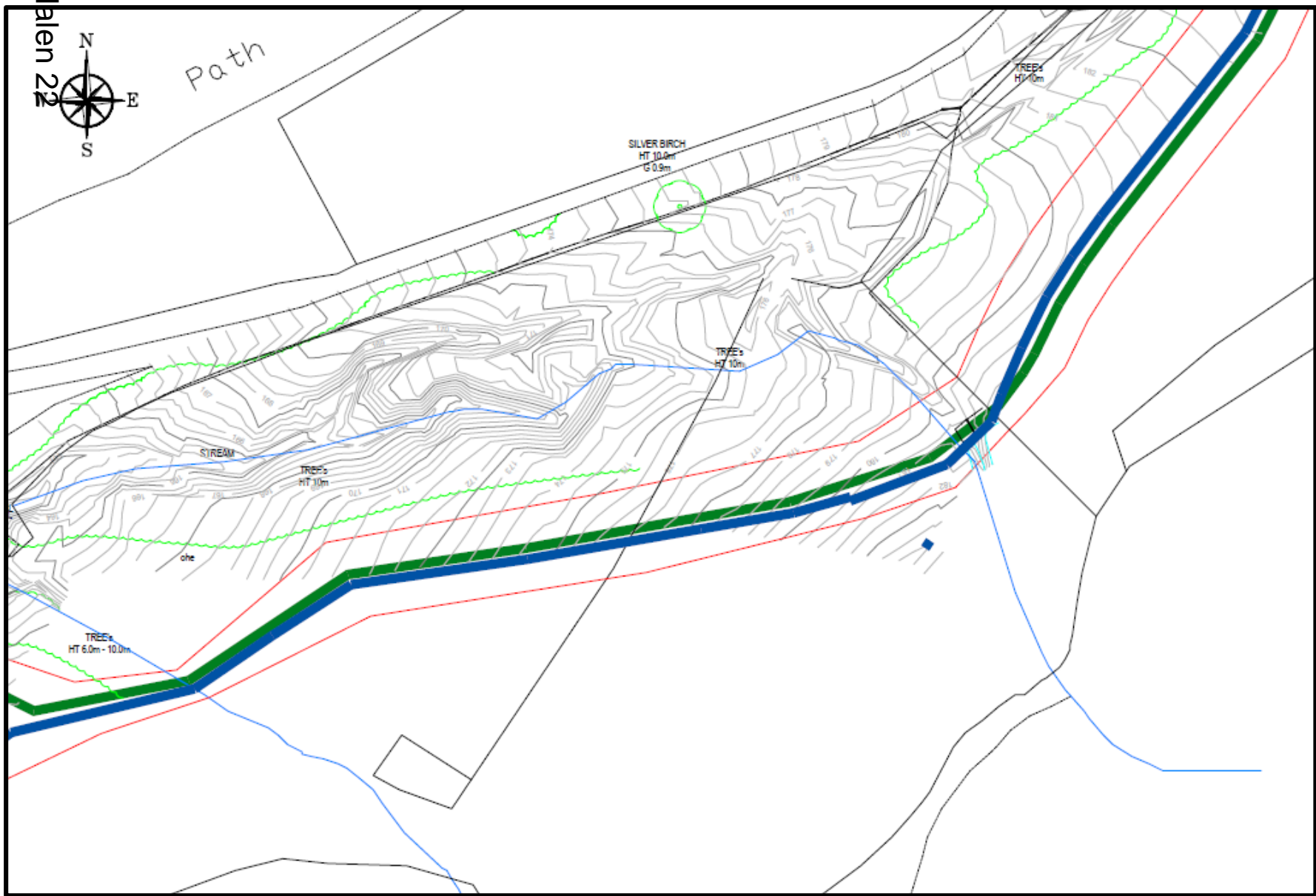


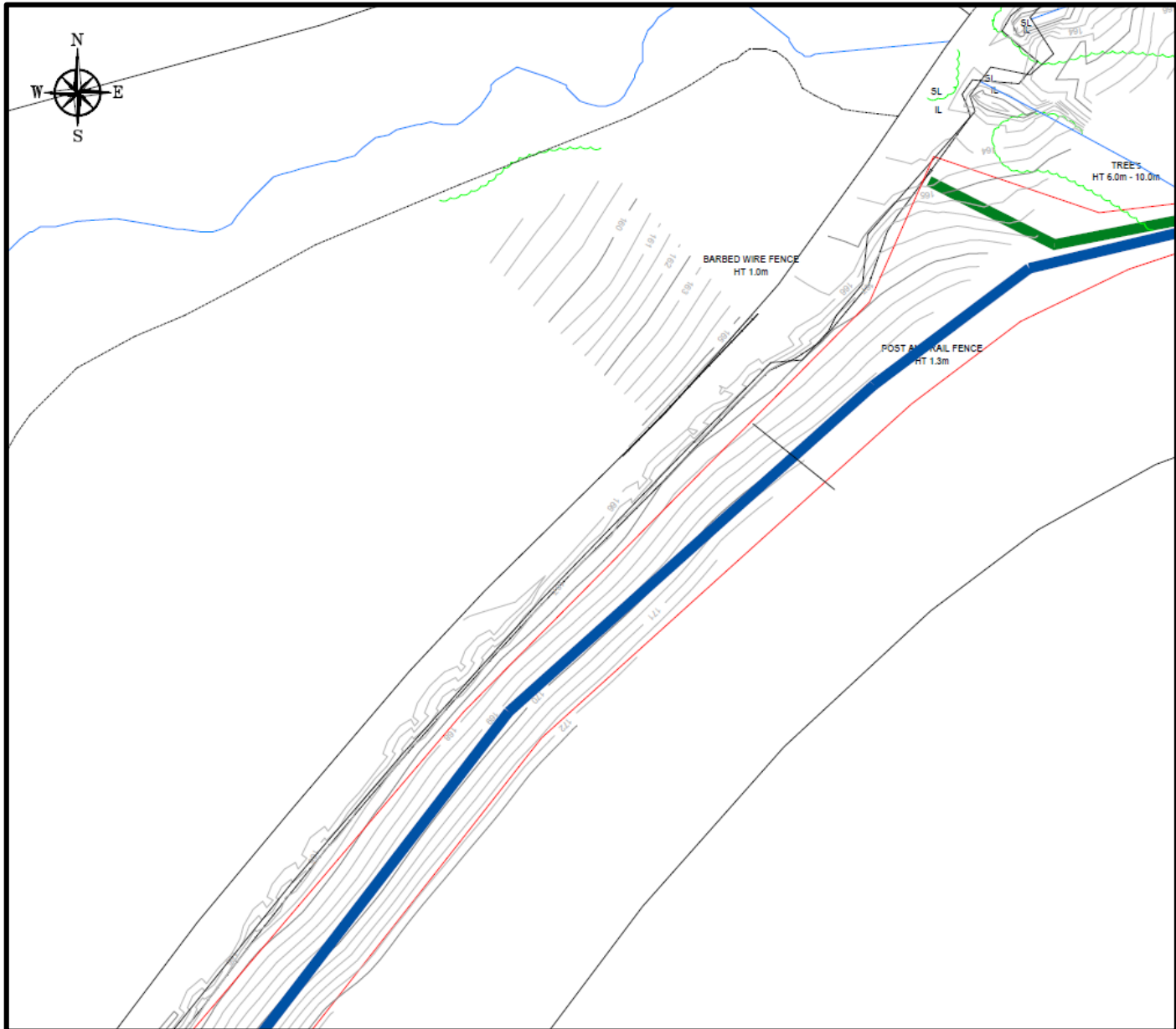
Tudalen 21

E/34887

HEP Layout Plan

Tudalen 22

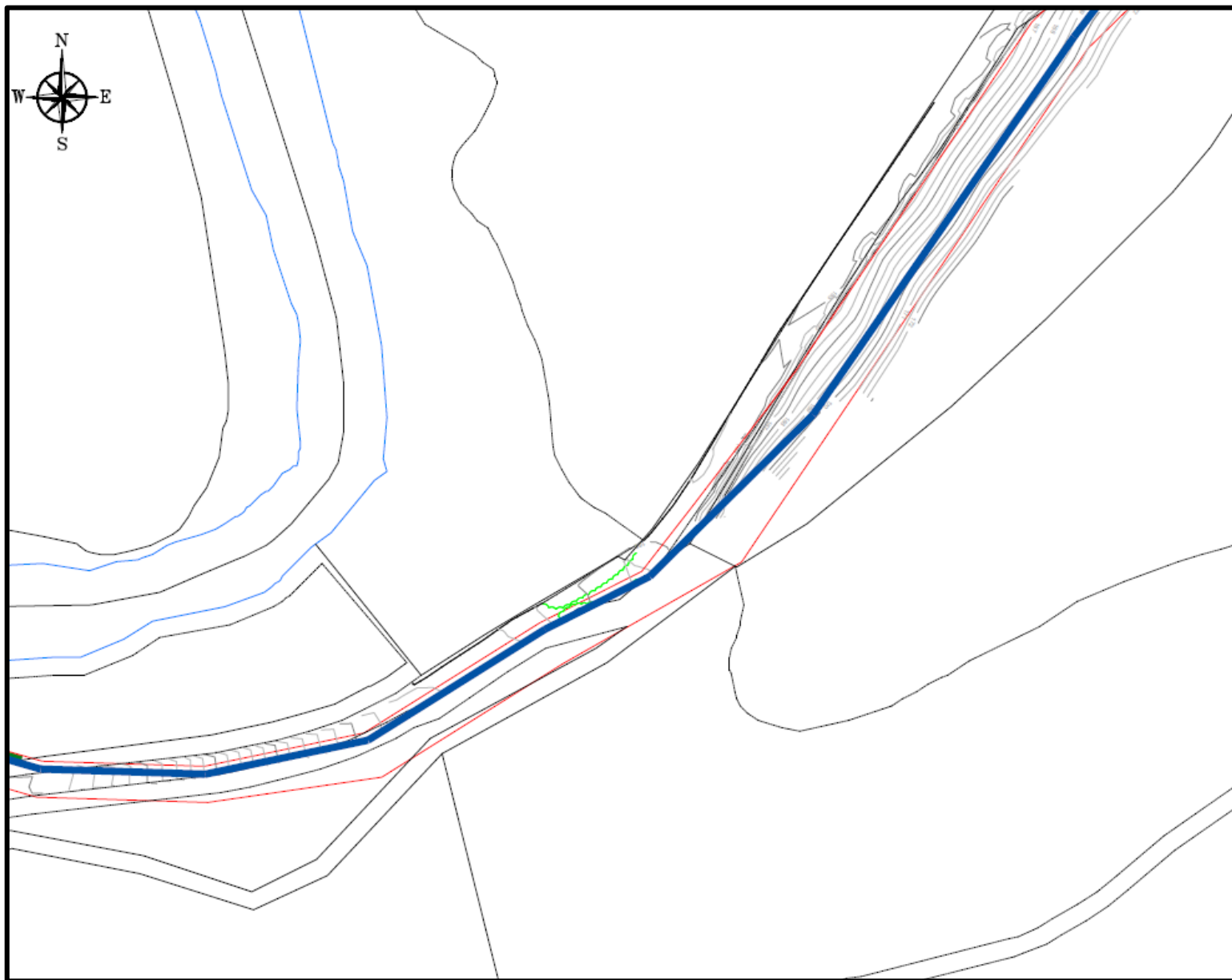


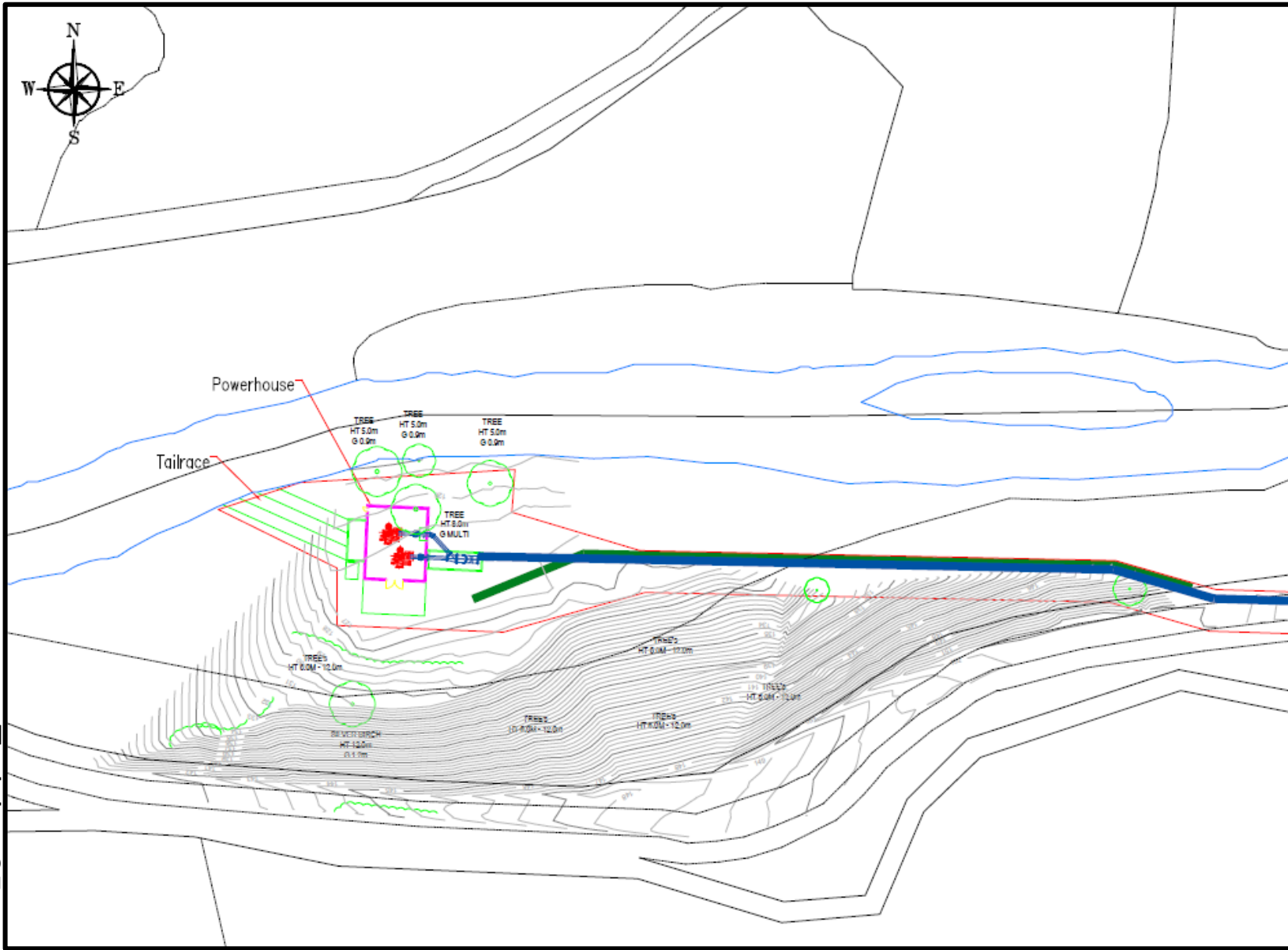


E/34887

HEP Layout Plan

Tudalen 24



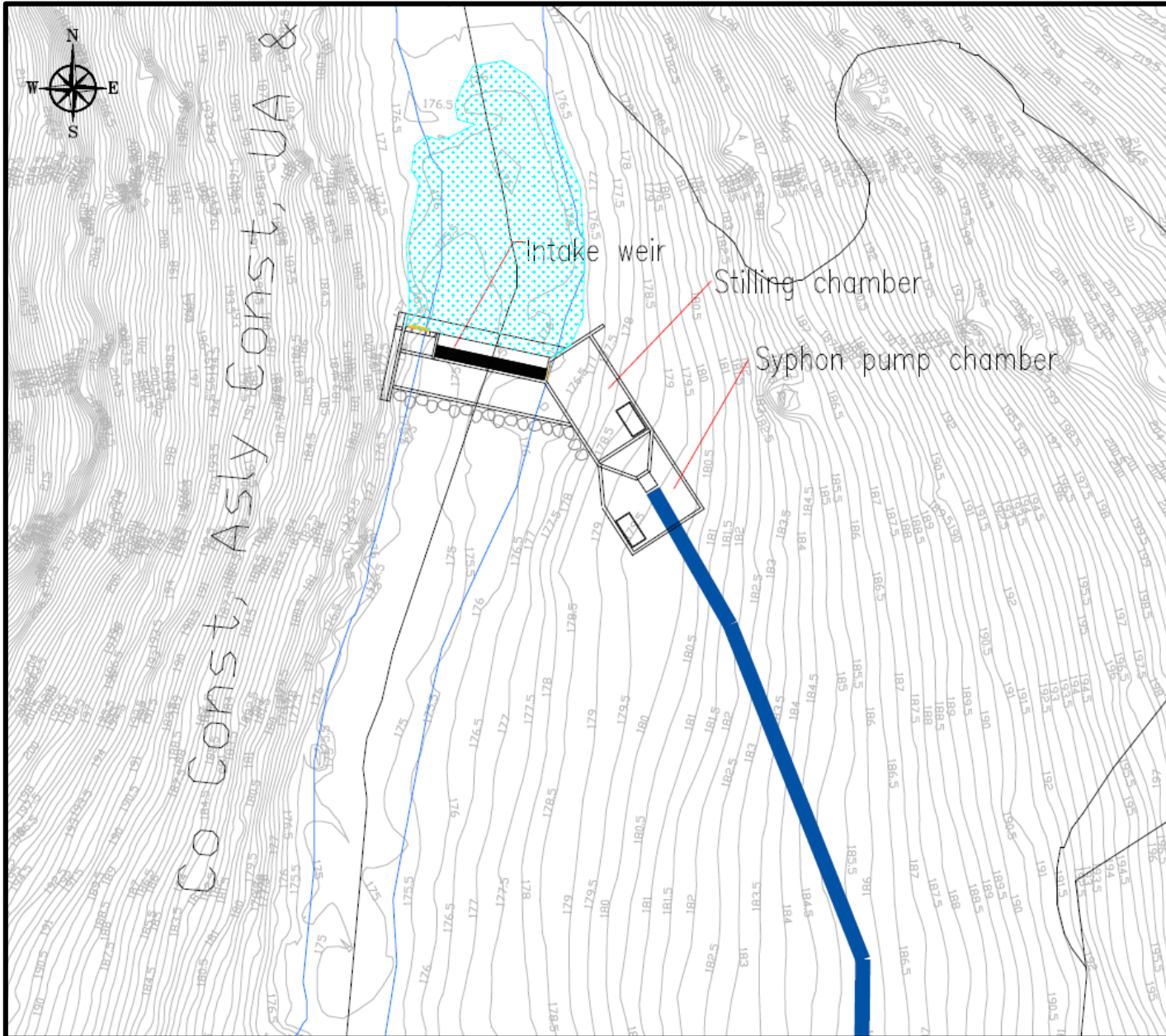


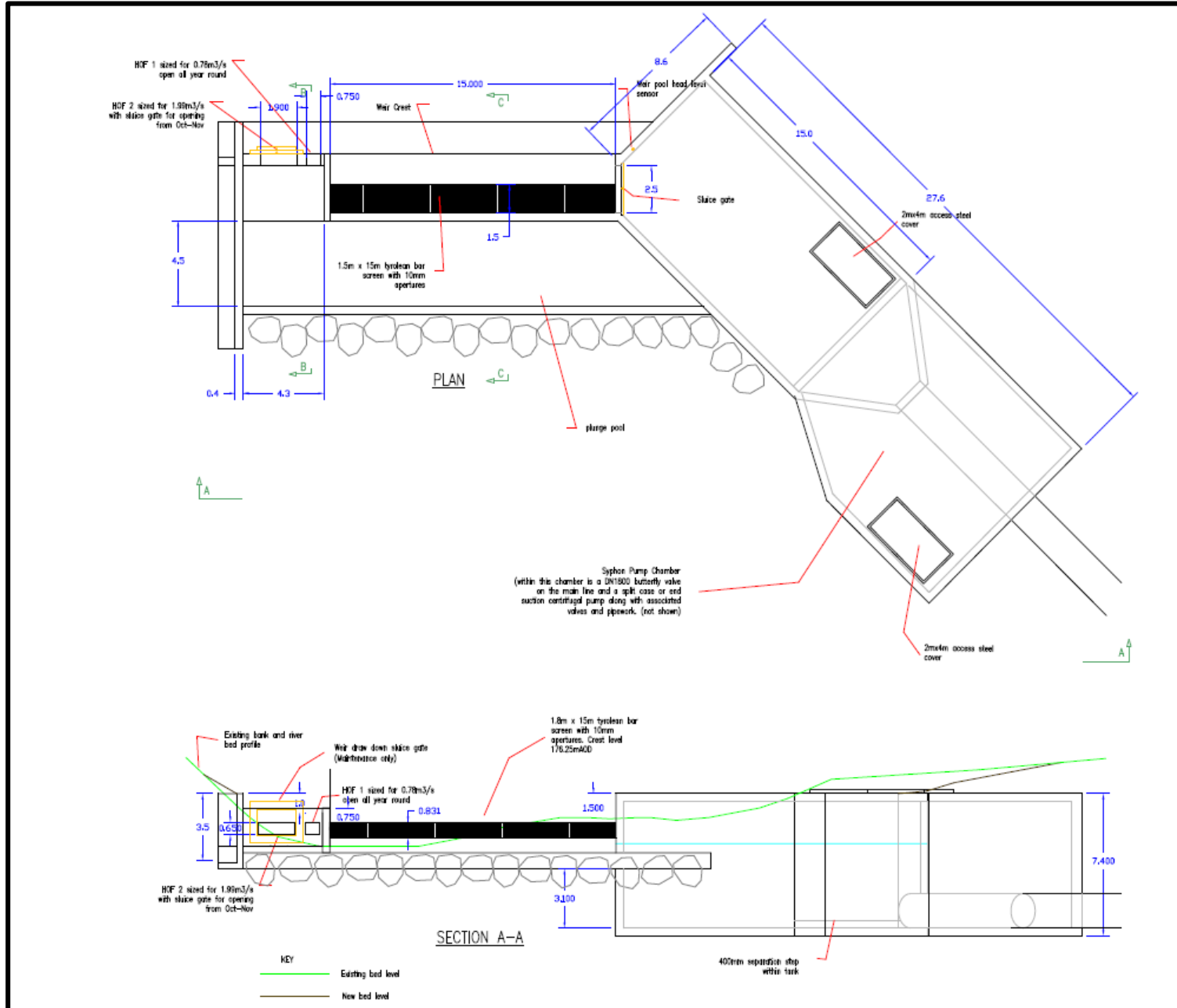
Tudalen 25

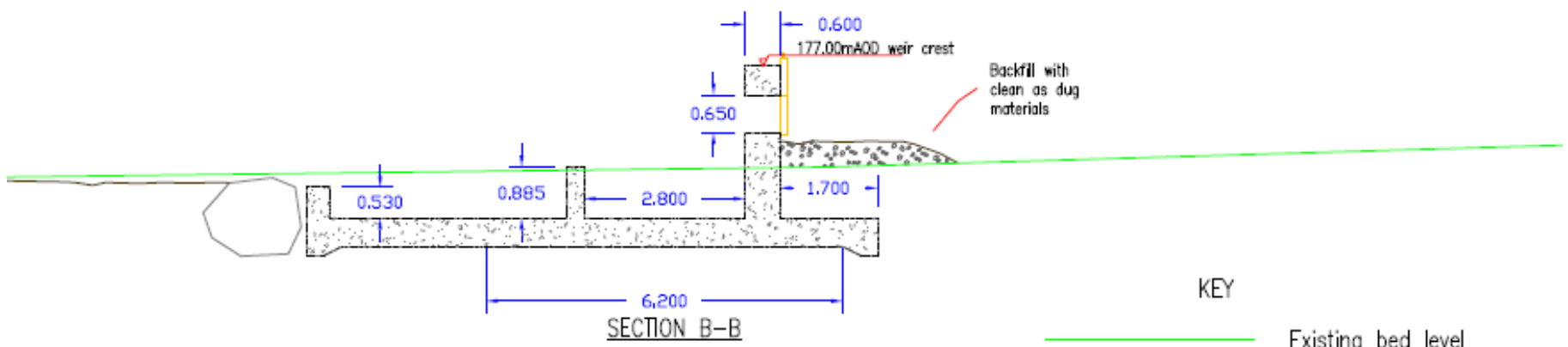
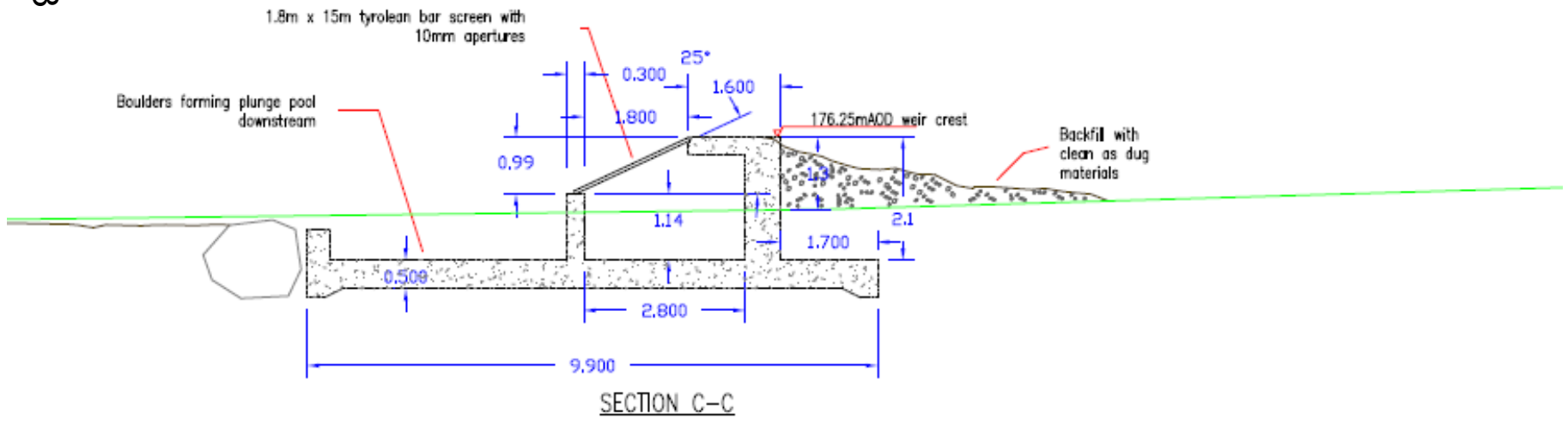
E/34887

Intake Weir showing Ponded area above

Tudalen 26



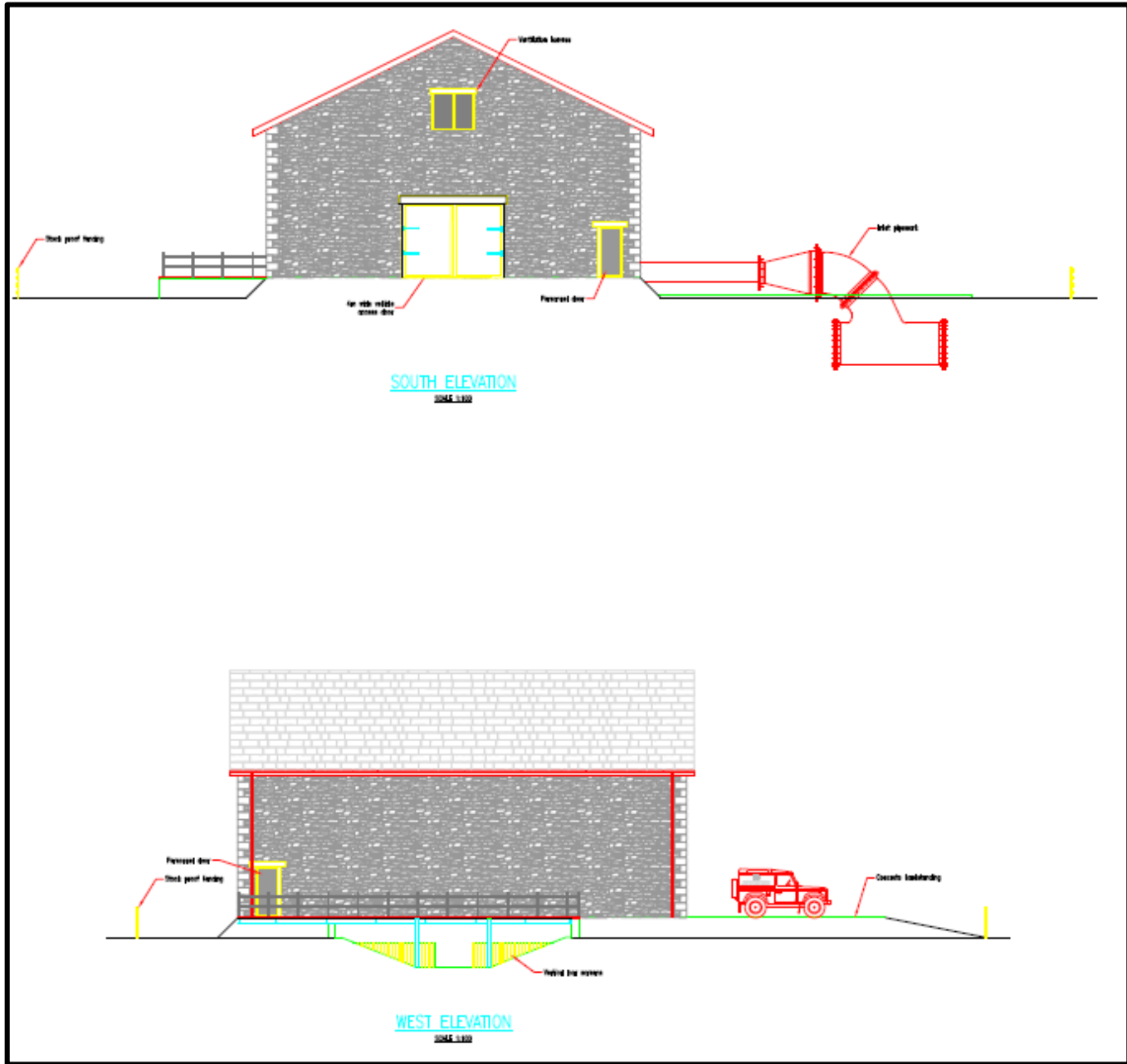




- KEY
- Existing bed level
 - New bed level

E/34887

Elevations of Powerhouse

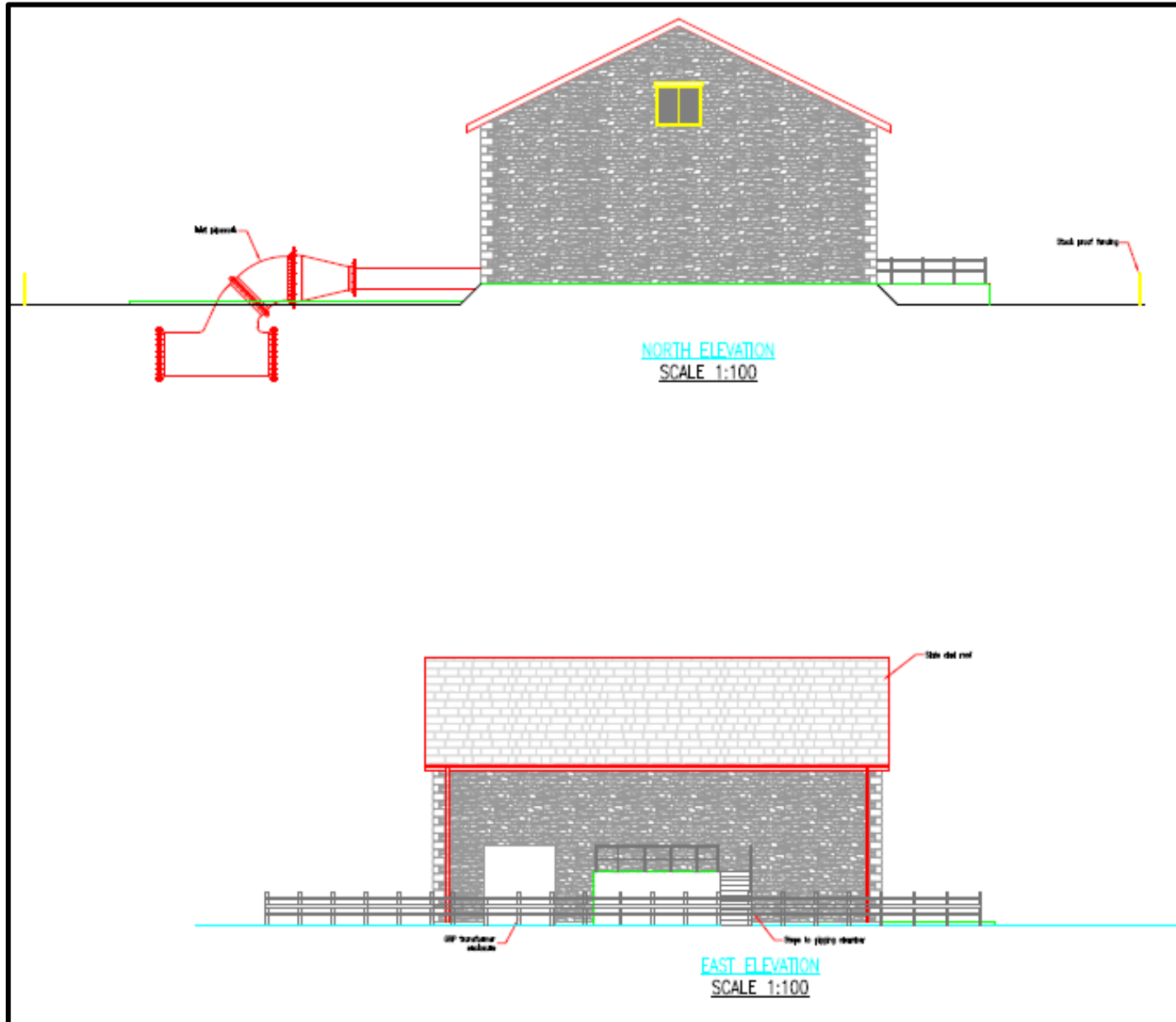


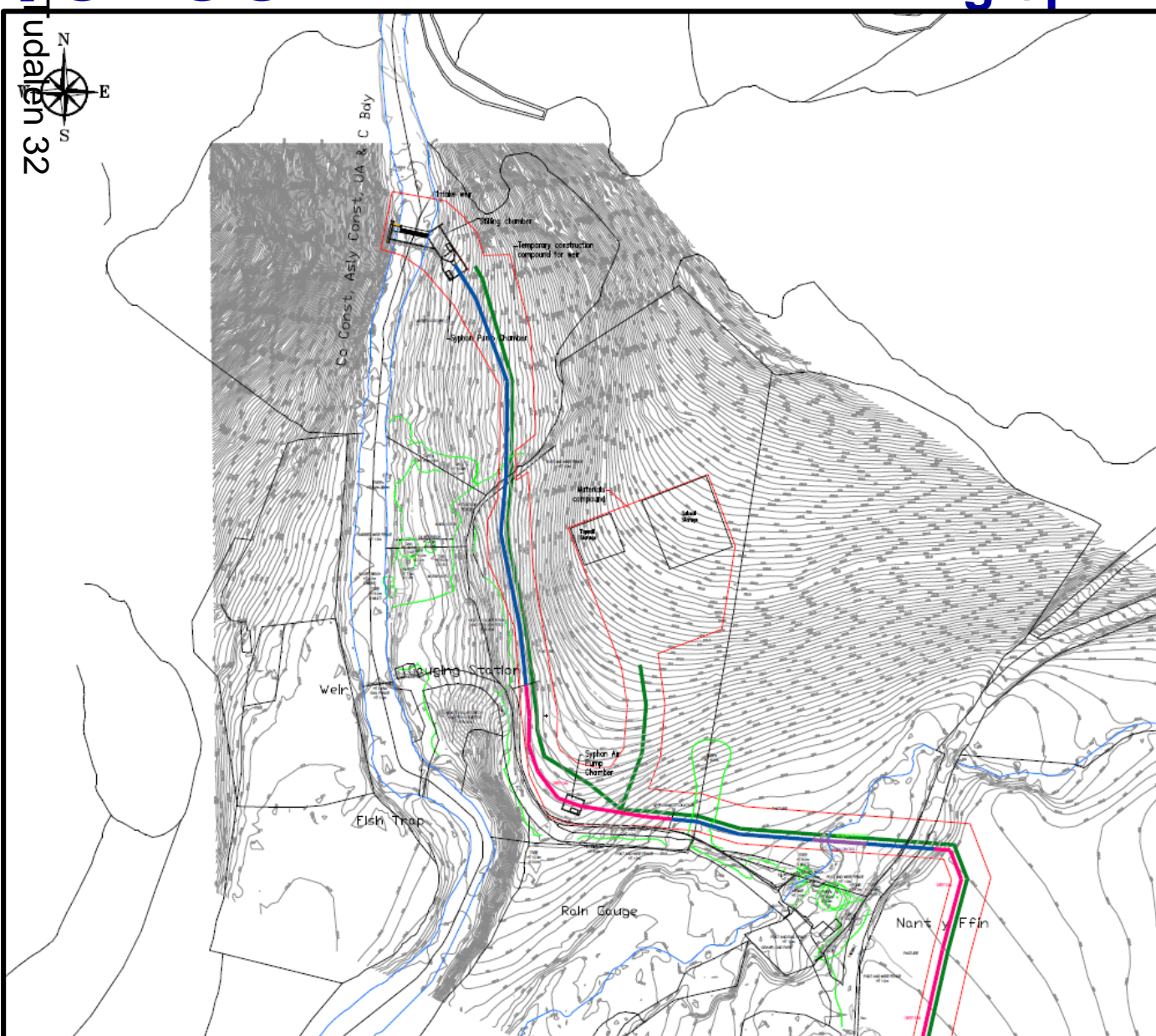
Tudalen 29

E/34887

Tidalen 30

Elevations of Powerhouse





© 2015

PRELIMINARY DRAWING FOR
CONSENTING PURPOSES - NOT
FOR CONSTRUCTION

Project:
Ystradffln Hydro

Client:
Hydro Electric
Development Ltd

Drawing Title:
Spoil Storage

File Name:
YTFH-DWG-Spoil Storage-C-26017-ARC

Scale: 1:2000 @ A3	Revision: C	Sheet: 1 OF 5
Drawn by: ARC	Date: 26/01/2017	

Key:

- Pipeline Cross Section D
- Pipeline Cross Section C
- Pipeline Cross Section B
- Pipeline Cross Section A
- Proposed additional access tracks
- Site Boundary

Revisions			
Rev	Description	Approved	Issue
B	Pipe route altered	ARC	23.07.15
C	Updated	ARC	26.01.17

Project: Ystradffln Hydro - Spoil Storage - C-26017-ARC

E/34887

Plan showing Spoil Storage area



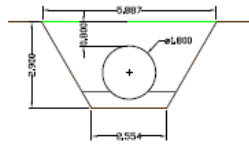
Tudalen 33

E/34887 Section Plan showing Pipe Excavation

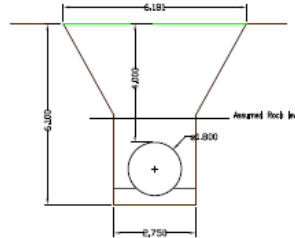
Tudalen 34



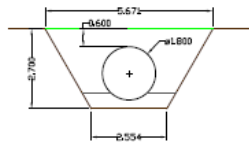
Cross Section A
majority of pipeline 800mm cover



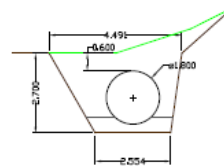
Cross Section C
Deep Dig



Cross section B
Shallow dig, minimum cover (600mm)

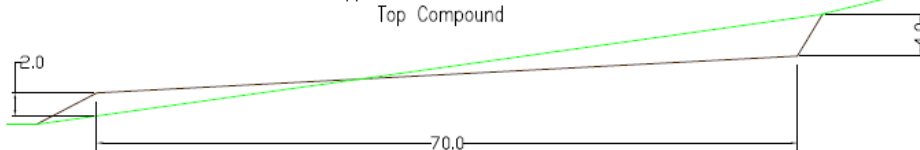


Cross section D
Across side slope



- Existing level and reinstatement level
- Excavated level

Approx Cross section of
Top Compound



© 2015

PRELIMINARY DRAWING FOR
CONSENTING PURPOSES - NOT
FOR CONSTRUCTION

Project:

Ystradffyn Hydro

Client:

Hydro Electric
Development Ltd

Drawing Title:

Spill Storage

File Name:

YTFH-DWG-Spill Storage-C-260117-ARC

Scale:

1:1000 @ A3

Revision:

C

Sheet:

5 OF 5

Drawn by:

ARC

Date:

26/01/2017

Key:

- Pipeline Cross Section D
- Pipeline Cross Section C
- Pipeline Cross Section B
- Pipeline Cross Section A
- Proposed additional access tracks
- Site Boundary

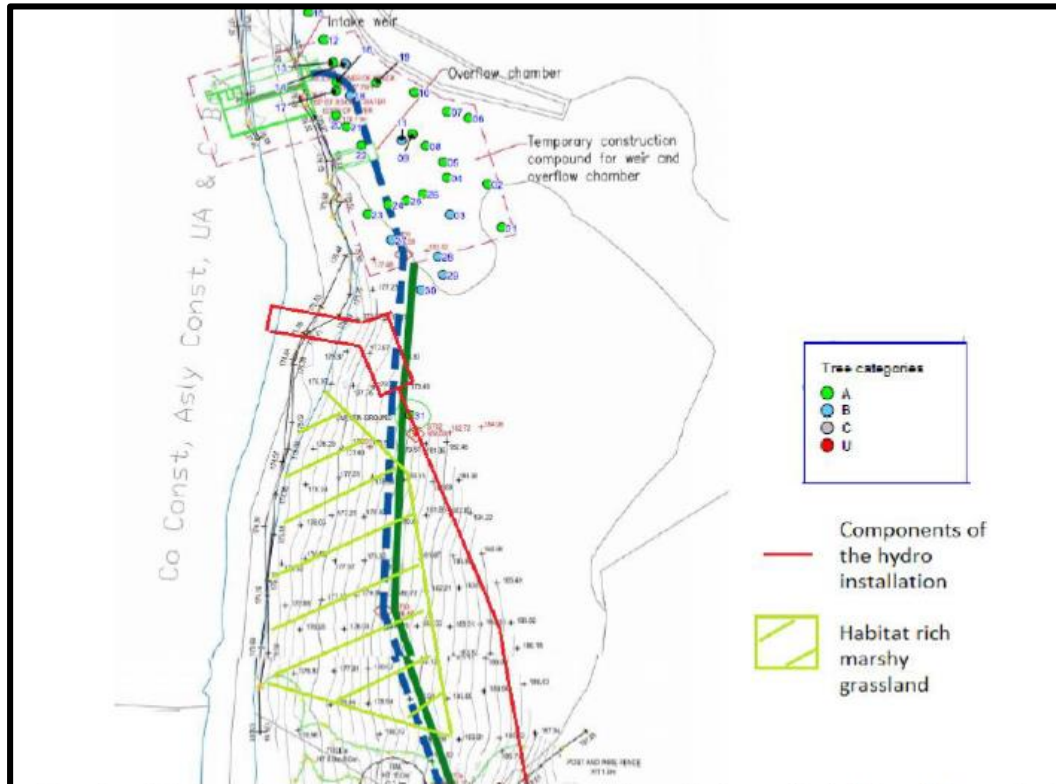
Revisions

Rev	Description	Approved	Issued
B	Pipe route altered	ARC	23.07.15
C	Updated	ARC	26.01.17

Authorisation: Approved for Construction. Drawn by: ARC. Checked by: ARC. Date: 26/01/17

E/34887

Overlay showing weir crest and shift of weir downstream



Overlay of the new intake and pipeline route shown in red along with habitat rich grassland and tree locations from tree survey

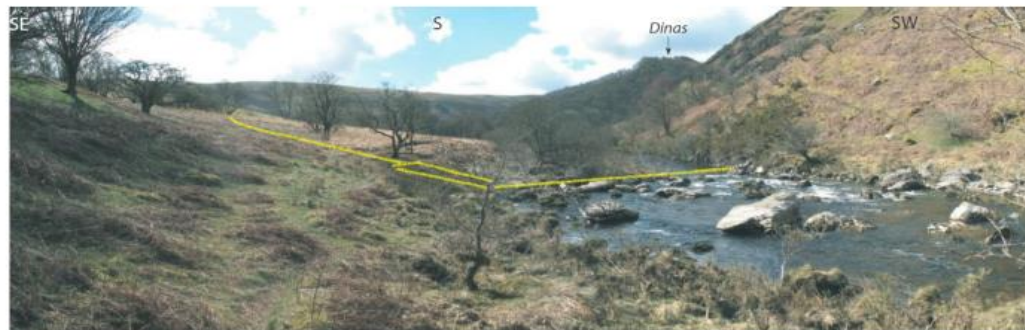


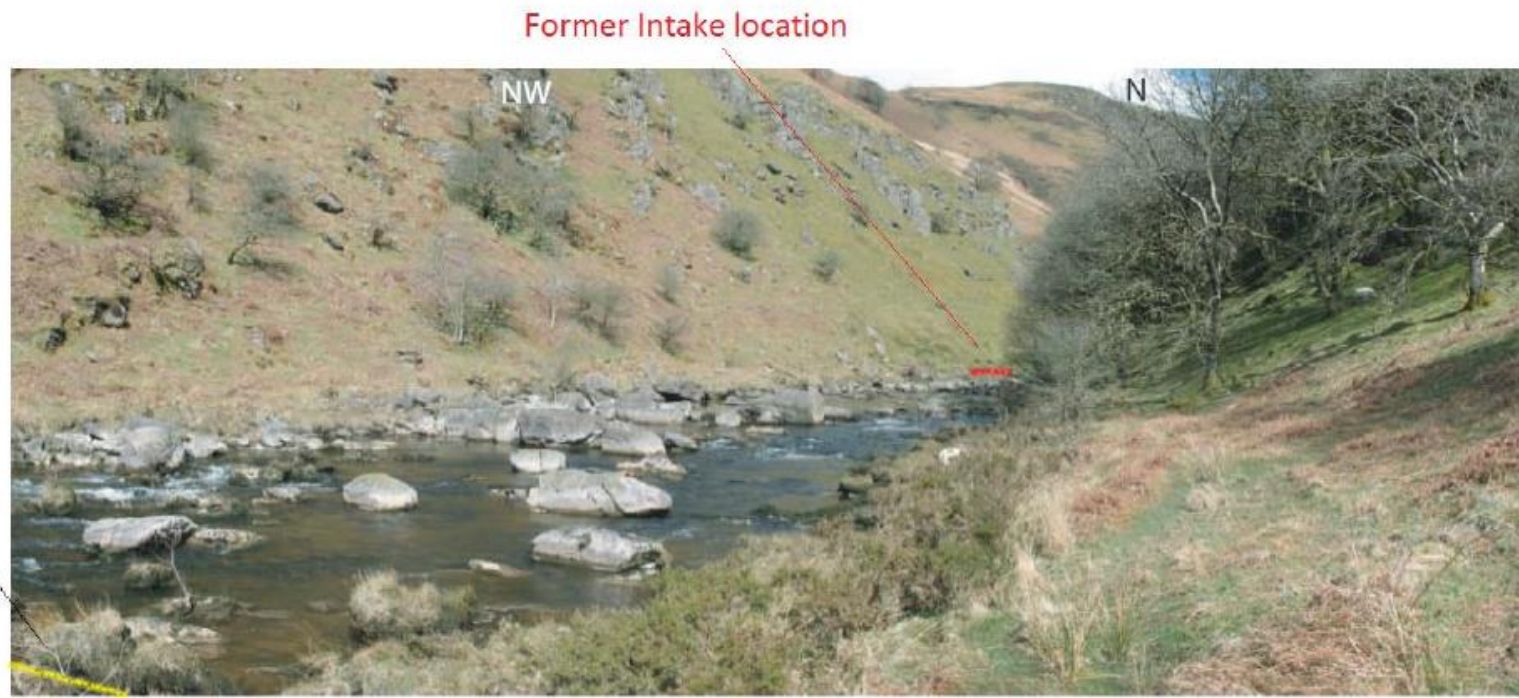
Photo showing the new intake location and the weir crest level

E/34887

Photo showing former Intake and New

Syphon Intake Location

Tudalen 36



New syphon intake location

Former Intake location

NW

N

Looking up river northwest to northeast from SN 7859 4750.

E/34887

Photo of Weir Intake Location



Tudalen 37

E/34887 Photo showing location of Proposed Weir and Pondered Reach

Tudalen 38



E/34887

Photo Before Weir Constructed



Tudalen 39

Before

E/34887

Photo After Weir Constructed

Tudalen 40



After

E/34887

Photo of Pumphouse Location

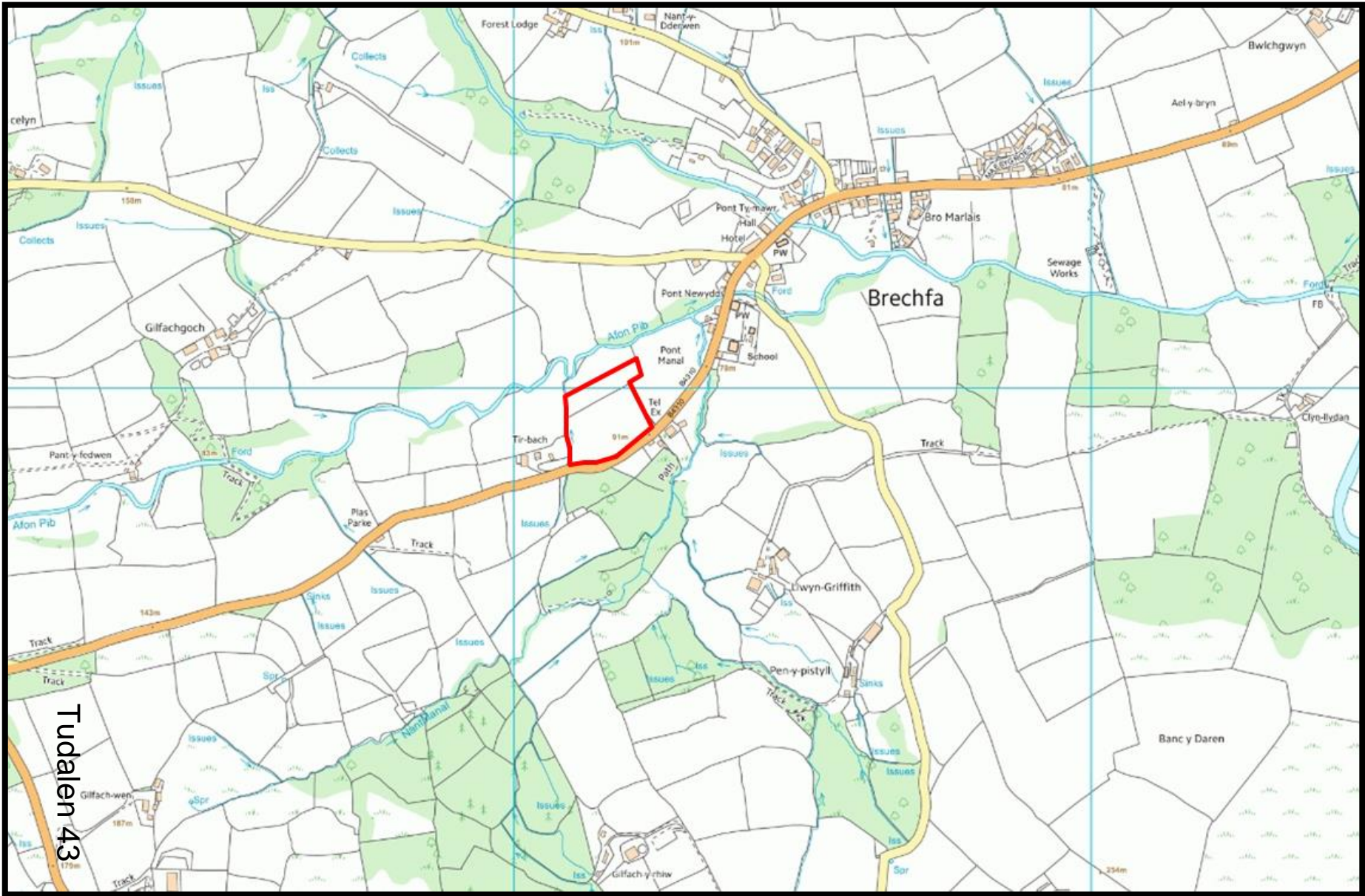


Tudalen 41

E/35019

E/35109

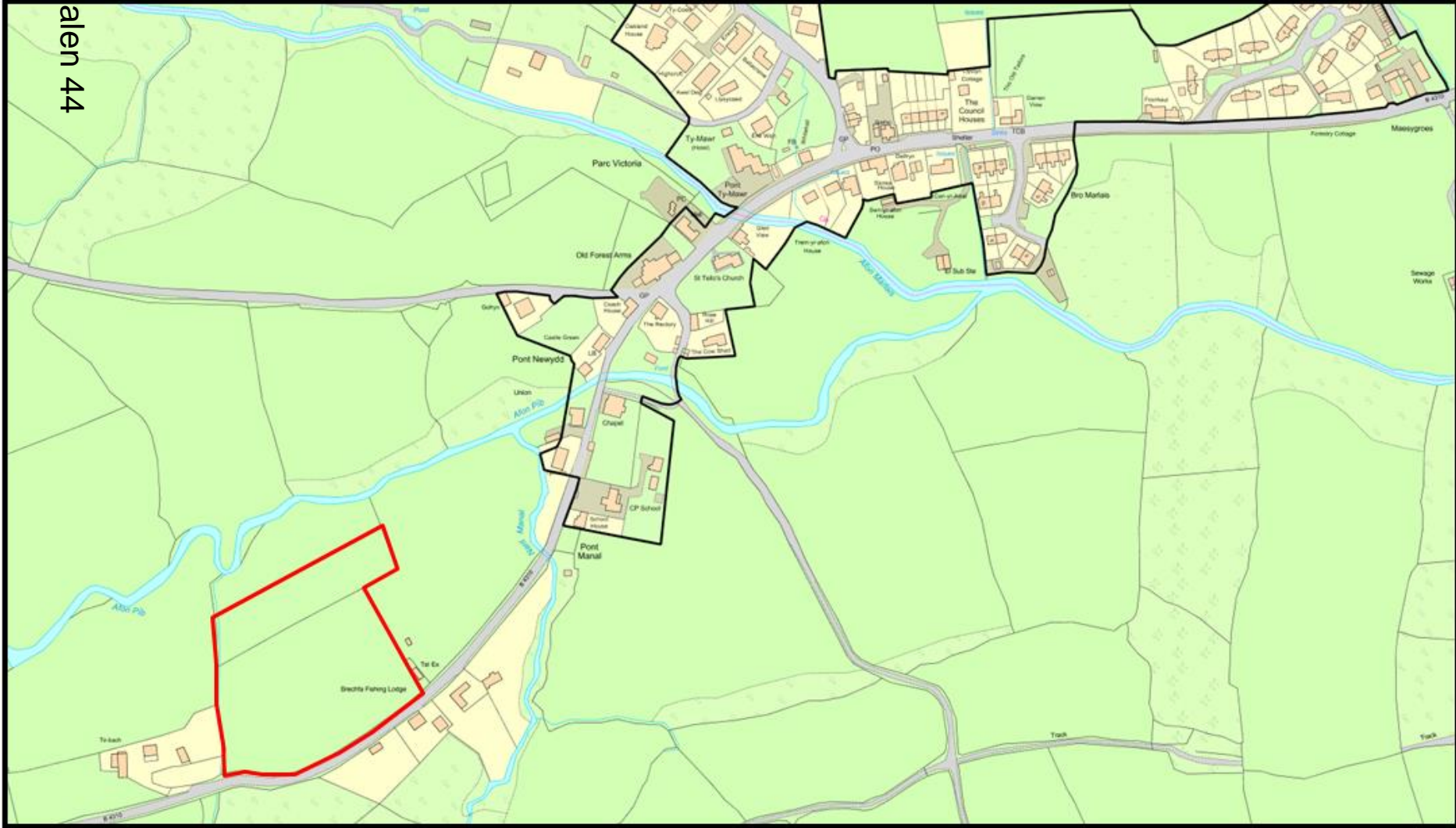
Location Plan



E/35109

LDP Settlement Limits for Brechfa

Tudalen 44



E/35109

Aerial Photograph

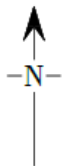


Tudalen 45

E/35109

Proposed Location Plan

Tudalen 46



Ordnance Survey, (c) Crown Copyright 2016. All rights reserved. Licence number 100022432

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.

Plans have not received Building Regulations consent & should not be used for construction purposes.

D		
C		
B		
A		
REV	DESCRIPTION	DATE

DR Design

Architectural Services

Davies Richards Design Ltd.
Llandello - 01558 823351
Mumbles - 01792 347892

E-MAIL - info@daviesrichardsdesign.com
WEB - www.daviesrichardsdesign.com

CLIENT:
Mr. & Mrs. Stevenson.

JOB TITLE:
*Proposed Glamping site at;
Tir Bach,
Brechfa,
Carmarthenshire,
SA32 7RA.*

DRAWING TITLE:
Proposed Location Plan.

DRAWING STATUS:
Planning.

Original paper size - A2

SCALE: 1:1250.

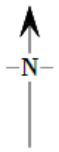
DRAWN BY: G.R.R. DATE: June '16.

PLAN No	REVISION
1467-03	

DO NOT USE FOR CONVEYANCING PURPOSES



Plans have not received Building Regulations consent & should not be used for construction purposes.



DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS. WE HAVE NOT CHECKED LOCATION OR AVAILABILITY OF EXISTING SERVICES FOR THE PROPOSED WORKS.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO SECURE THE NECESSARY SMART METER ACT PROCEDURES WHERE NECESSARY FOR COMMENCEMENT OF WORKS.

CONSTRUCTION QUANTITIES HAVE BEEN OBTAINED UNDER THE CONSTRUCTION QUANTITIES MEASURE (CQMS) TO BE USED FOR THE WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY SMART METER ACT PROCEDURES WHERE NECESSARY FOR COMMENCEMENT OF WORKS.

TERRAIN PROFILES HAVE BEEN OBTAINED FROM THE CLIENT'S SURVEY AND CHECKED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY SMART METER ACT PROCEDURES WHERE NECESSARY FOR COMMENCEMENT OF WORKS.

ABOUT EXISTING POSITIONS IS DEFINED TO BE OBTAINED ON SITE PRIOR TO COMMENCEMENT OF WORKS. THIS IS NOT A CONSTRUCTION DRAWING.

REGULATION 10, PART 1 OF THE PLANNING AND COMPASSION ACT 2014 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY SMART METER ACT PROCEDURES WHERE NECESSARY FOR COMMENCEMENT OF WORKS.

NEW DRAINAGE - ADVISORY: THE DRAINAGE SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH BS 8511:2014 OR EQUIVALENT TECHNICAL STANDARD.

THE COMPONENTS OF THE SYSTEM: THE DRAINAGE SYSTEM SHOULD BE INSTALLED IN ACCORDANCE WITH BS 8511:2014 OR AN EQUIVALENT TECHNICAL STANDARD.

WHERE AN EXISTING DRAINAGE SYSTEM IS INSTALLED, AN INSPECTION AND MAINTENANCE ACCESS SHALL BE PROVIDED.

CONSTRUCTION OF CONDUIT WITH OVERHEAD CABLES SHALL BE PROVIDED.

WHERE OVERHEAD CABLES ARE TO BE USED, THE DESIGNER SHALL CONSULT WITH THE LOCAL AUTHORITY TO OBTAIN THE LOCAL AUTHORITY'S CONSENT TO THE PROPOSED WORKS AND THE LOCAL AUTHORITY'S CONSENT TO THE PROPOSED WORKS.

WHERE OVERHEAD CABLES ARE TO BE USED, THE DESIGNER SHALL CONSULT WITH THE LOCAL AUTHORITY TO OBTAIN THE LOCAL AUTHORITY'S CONSENT TO THE PROPOSED WORKS AND THE LOCAL AUTHORITY'S CONSENT TO THE PROPOSED WORKS.

WHERE OVERHEAD CABLES ARE TO BE USED, THE DESIGNER SHALL CONSULT WITH THE LOCAL AUTHORITY TO OBTAIN THE LOCAL AUTHORITY'S CONSENT TO THE PROPOSED WORKS AND THE LOCAL AUTHORITY'S CONSENT TO THE PROPOSED WORKS.

D		
C		
B		
A		

REV	DESCRIPTION	DATE
-----	-------------	------

DR Design
Architectural Services
Davies Richards Design Ltd.
1 Llandilo - 01856 893007
Munibwell - 01792 347922

T: 01856 893007
E: info@drdesign.co.uk
A: www.drdesign.co.uk

CLIENT: Mr. & Mrs. Stevenson.

JOB TITLE: Proposed Glamping site at Tir Bach, Brechfa, Carmarthenshire, SA32 7RA.

DRAWING TITLE: Proposed Site Plan.
DRAWING STATUS: Planning.

SCALE: 1:500.

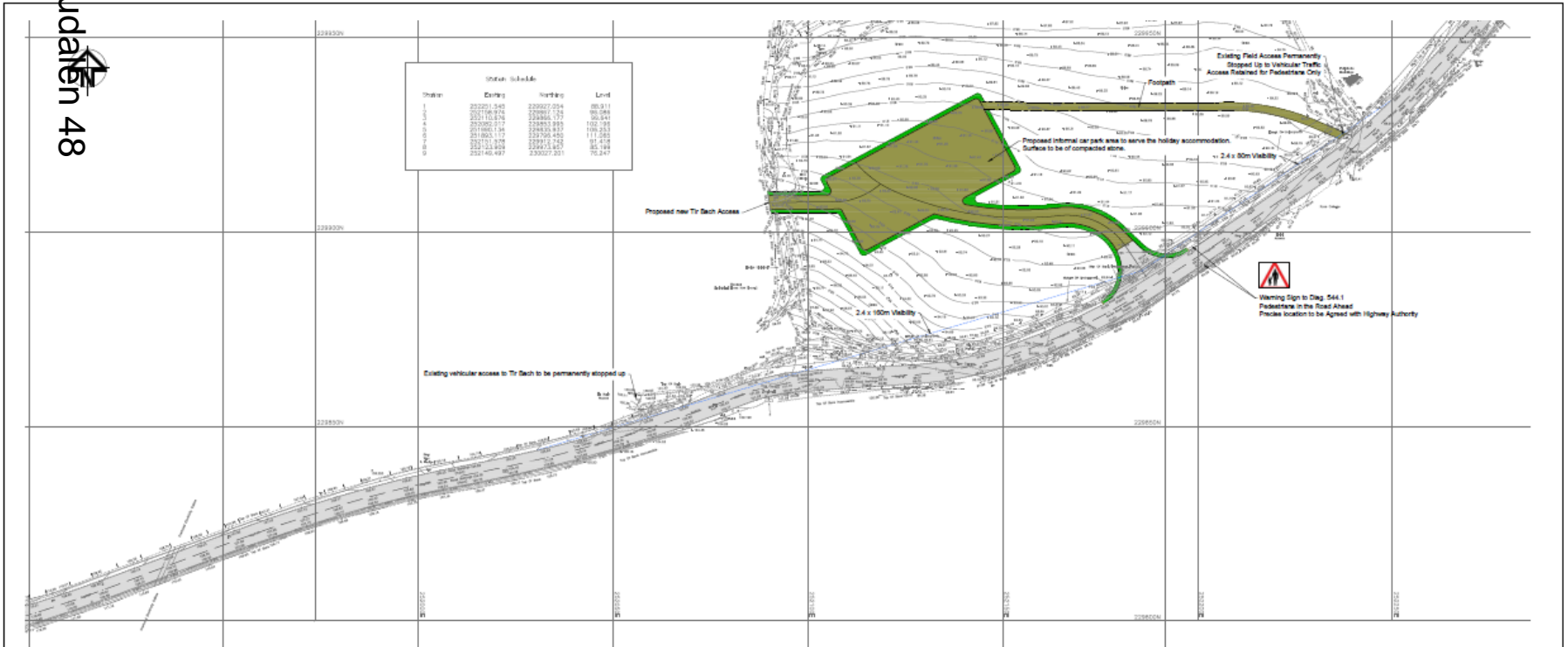
DRAWN BY: G.R.R. DATE: June '16.

PLAN No	1467-01
---------	---------

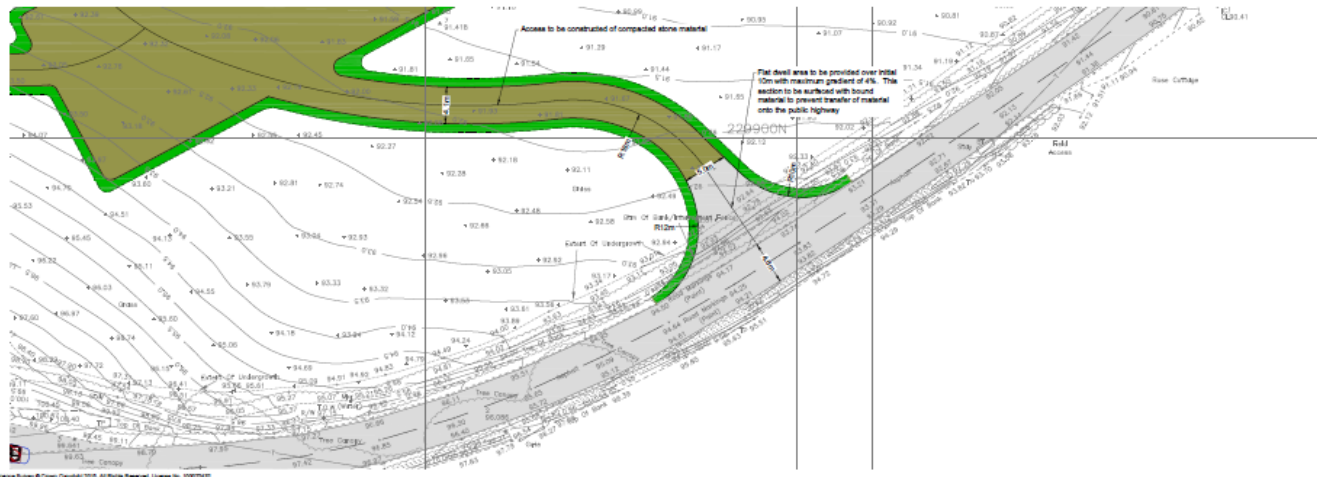
E/35109

Proposed Access & Pedestrian track

Tudalen 48



Station	Existing	Working	Level
1	232201.540	232027.034	88.911
2	232156.654	232007.524	89.044
3	232110.676	232006.177	89.241
4	232062.217	232003.889	90.218
5	232016.394	232000.455	90.213
6	231965.117	232000.455	111.282
7	231911.408	232000.455	87.142
8	231812.809	232000.455	85.149
9	231740.487	232000.455	79.247



B	Path & Clg 544.1 Added	03-03-17
A	First Issue	25-11-16

astro
 Highways & Transportation
 10000, 10000, 10000
 14 10000 10000

TIR BACH, BRECHFA		
PROPOSED ACCESS		
1009	002	B
1:500 & 1:250		© A1

E/35109

Application Site viewed from B4310

Tudalen 50



E/35109 Application Site in proximity to Brechfa



Tyddalen 51

E/35109

Application Site viewed from B4310

Tudalen 52



E/35109

B4310 Heading Southwards



Tudalen 53

E/35109

B4310 Heading Northwards

Tudalen 54

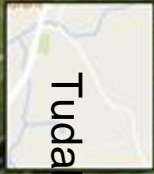


E/35109

Pedestrian route into Brechfa



Egress point for pedestrian route onto B4310



Tudalen 55

Google



E/35109

Pedestrian route into Brechfa

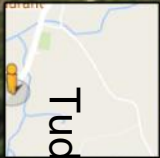
Tudalen 56



Google

E/35109

Pedestrian route into Brechfa



Tudalen 57

Google

E/35109

Pedestrian route into Brechfa

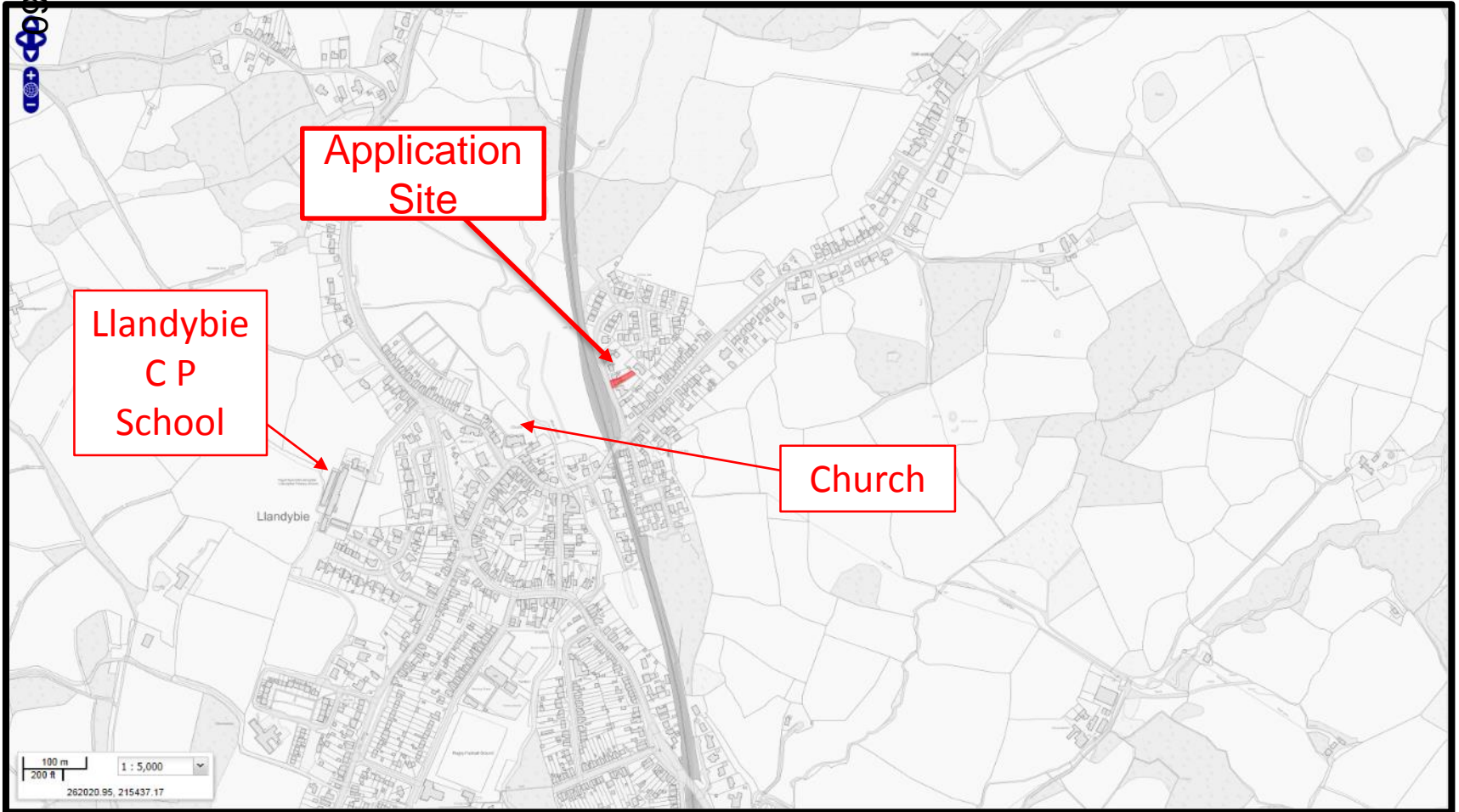
Tudalen 58



E/35434

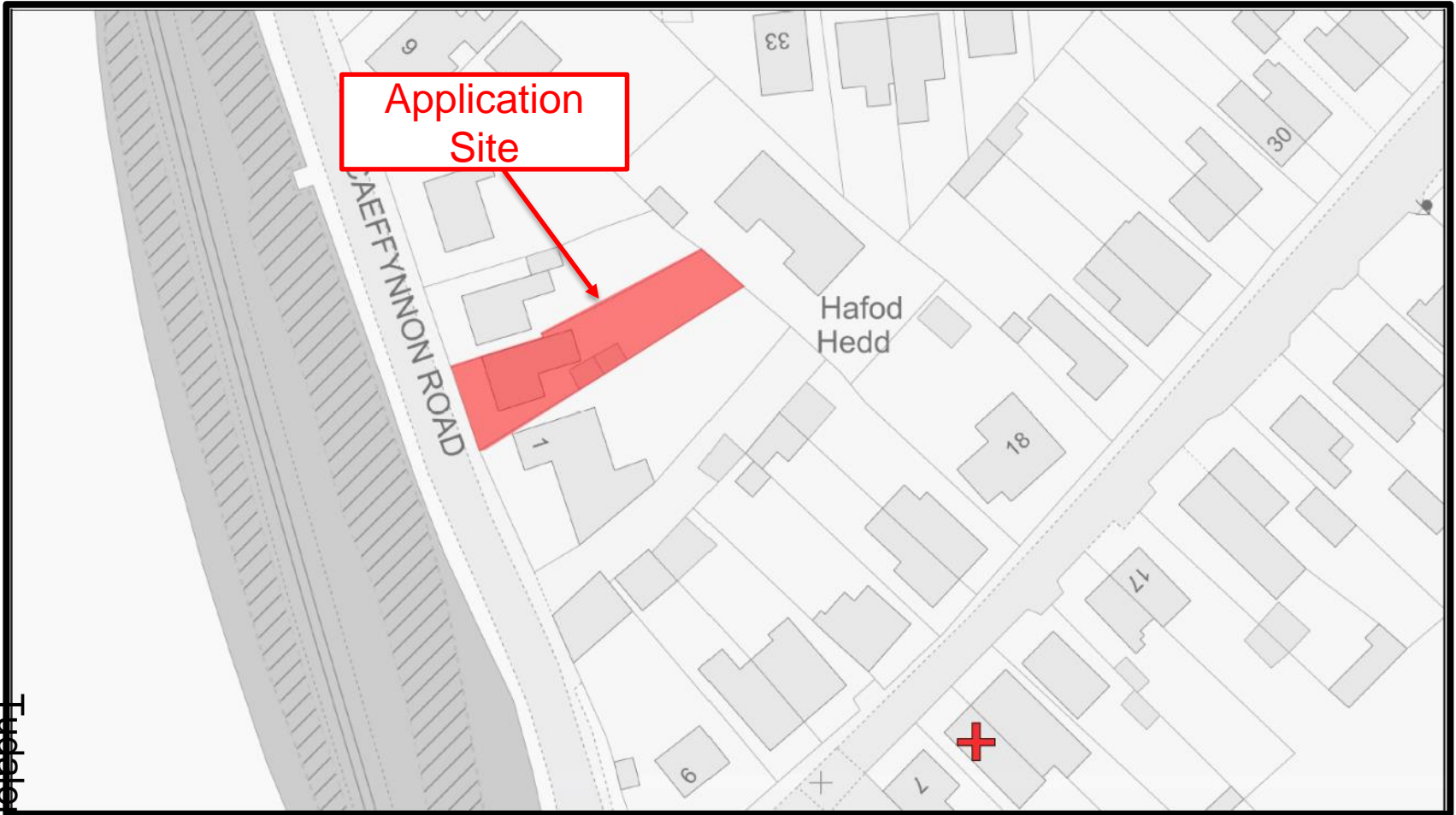
E/35434

LOCATION PLAN



E/35434

SITE PLAN



E/35434 AERIAL PHOTO OF APPLICATION SITE



E/35434

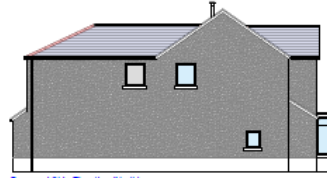
SUBMITTED PLANS



Proposed Rear Elevation (East)



Proposed Side Elevation (South)



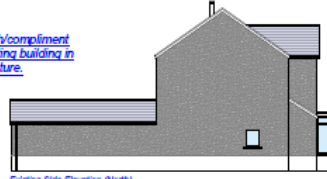
Proposed Side Elevation (North)



Existing Rear Elevation (East)

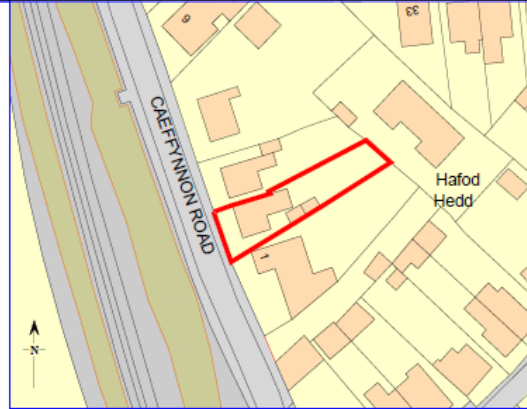


Existing Side Elevation (South)



Existing Side Elevation (North)

Finishes to match/compliment those of the existing building in type, colour & nature.



Block Plan @ 1:500.

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE.

PLEASE NOTE THE PROPOSED CONSTRUCTION WORKING TIME INFORMATION ACCOMPANYING THE PERMITS APPLICATION SCHEDULE.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS. WE ARE NOT RESPONSIBLE FOR THE ACCURACY OF EXISTING SERVICES OR THE LOCATION OF ANY SERVICES.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO ARRANGE THE NECESSARY PARTY WALL ACT PROCEDURE AND BE RESPONSIBLE FOR THE NECESSARY STRUCTURE.

CONSTRUCTION CLIENTS MUST BEAL OUTSIDE UNDER THE COM REGULATORY FRAME 2010. PLEASE CHECK YOUR DETAILS ON THE WEBSITE FOR COMPLETE LISTINGS THAT HAVE THE SAME TYPE PROVISIONS.

PERMITS ARE ISSUED AS AN ADDITIONAL AND NOT WITH THE PERMITS ARE COMPLETE AND PROTECTED BY PERSONAL FINE ASSISTANT AS DETERMINED BY THE LOCAL AUTHORITY.

CONTRACTORS PRINCIPAL CONTRACTORS SHOULD BEING THEIR CONSTRUCTION PERMITS AS AN ADDITIONAL PROVISION TO CONTROL THE ADDITIONAL AND NOT TO THEIR WORKING & TO CHECKING INCLUDING APPROVED PROCEDURES DURING THE CONSTRUCTION PHASE.

ABOUT REGULATORY PROVISIONS & DETAILS TO BE DETERMINED BY THE LOCAL AUTHORITY AND NOT BEING DETERMINED BY THE LOCAL AUTHORITY AND NOT BEING DETERMINED BY THE LOCAL AUTHORITY AND NOT BEING DETERMINED BY THE LOCAL AUTHORITY.

Regulation 14, Notice 14 of the Health & Safety Management Act 2010 is applicable to all work on or near to roads. It is the responsibility of the client/contractor to ensure that the work is carried out in accordance with the regulations. Further information is available at www.hse.gov.uk/ or hse@hse.gov.uk

Plans have not received Building Regulations consent & should not be used for construction purposes.

D		
C		
B		
A	Planning	17.5.17
REV	DESCRIPTION	DATE

DR Design

Architectural Services
 Davies Richards Design Ltd
 Llandudno • 01766 805057
 Mumbles • 01762 347692

www.drdesign.co.uk
www.drdesign.co.uk

CLIENT: England & Mainwaring.

JOB TITLE: Proposed extension at; 3 Caefynnion, Llandudno, Gwynedd, SA18 2TH.

DRAWING TITLE: Existing & Proposed Plans & Elevations.

DRAWING STATUS: Planning.

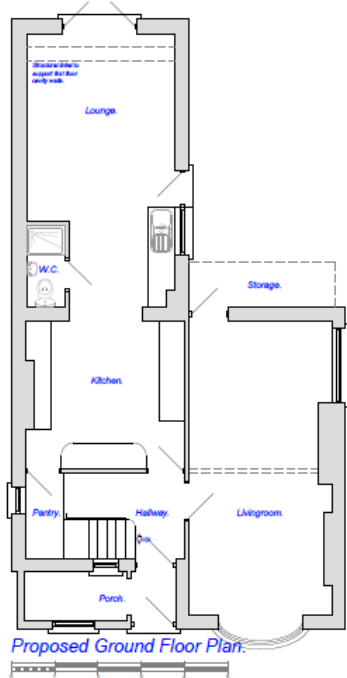
SCALE: 1:50, 1:100 & as shown.

DRAWN BY: G.R.R. DATE: April '17.

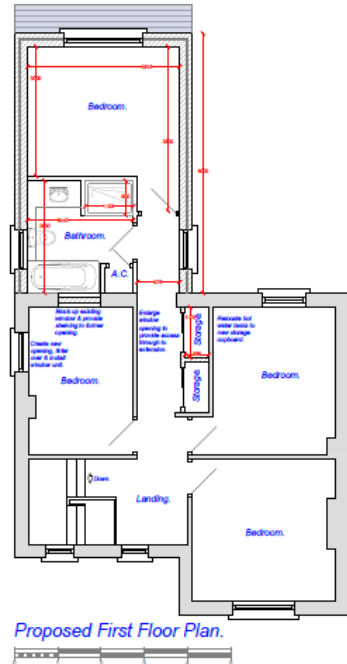
PLAN No	VERSION
1485-01	A



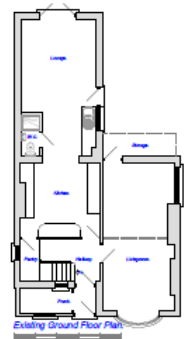
Location Plan @ 1:1250.



Proposed Ground Floor Plan.



Proposed First Floor Plan.



Existing Ground Floor Plan



Existing First Floor Plan

Tudalen 63

E/35434

SUBMITTED PLANS

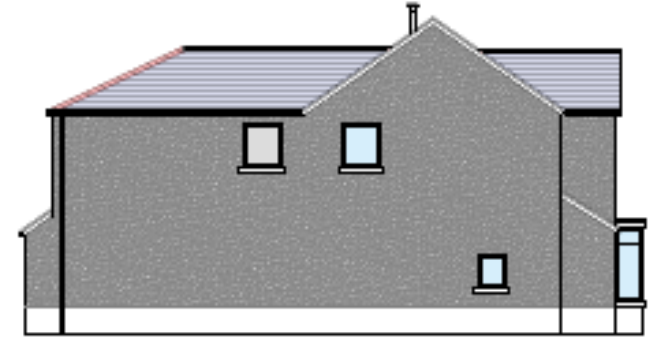
Tudalen 64



Proposed Rear Elevation (East).



Proposed Side Elevation (South).



Proposed Side Elevation (North).

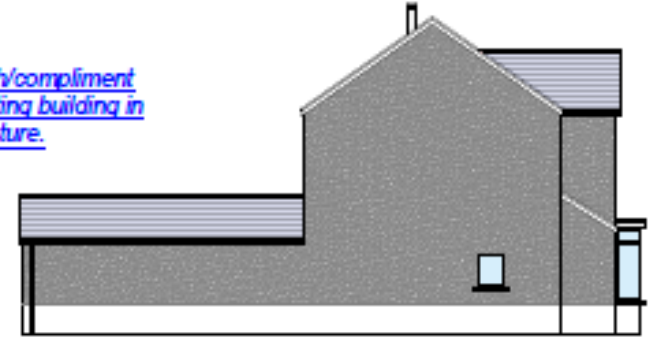


Existing Rear Elevation (East).



Existing Side Elevation (South).

Finishes to match/compliment those of the existing building in type, colour & nature.



Existing Side Elevation (North).

E/35434

SITE PHOTO

Tudalen 65



E/35434

SITE PHOTO

Tudalen 66



E/35434

SITE PHOTO



Tudalen 67

E/35434

SITE PHOTO

Tudalen 68



E/35434

SITE PHOTO



Tudalen 69

E/35434

SITE PHOTO

Tudalen 70



E/35434

SITE PHOTO

Tudalen 71



E/35434

SITE PHOTO

Tudalen 72



E/35434

SITE PHOTO

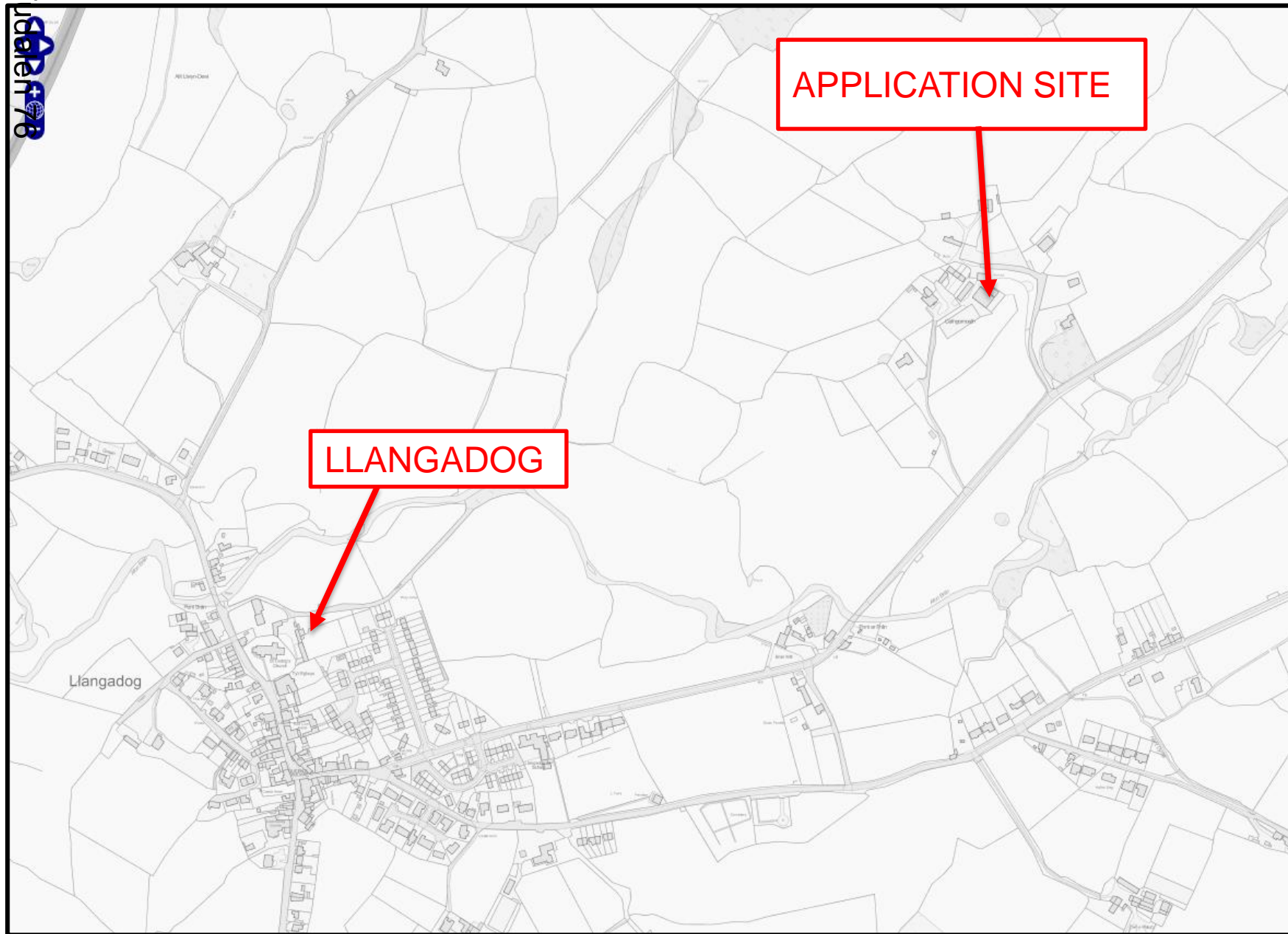


Tudalen 73

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR REFUSAL

E/35128



T
J
S
A
E
R
7
8

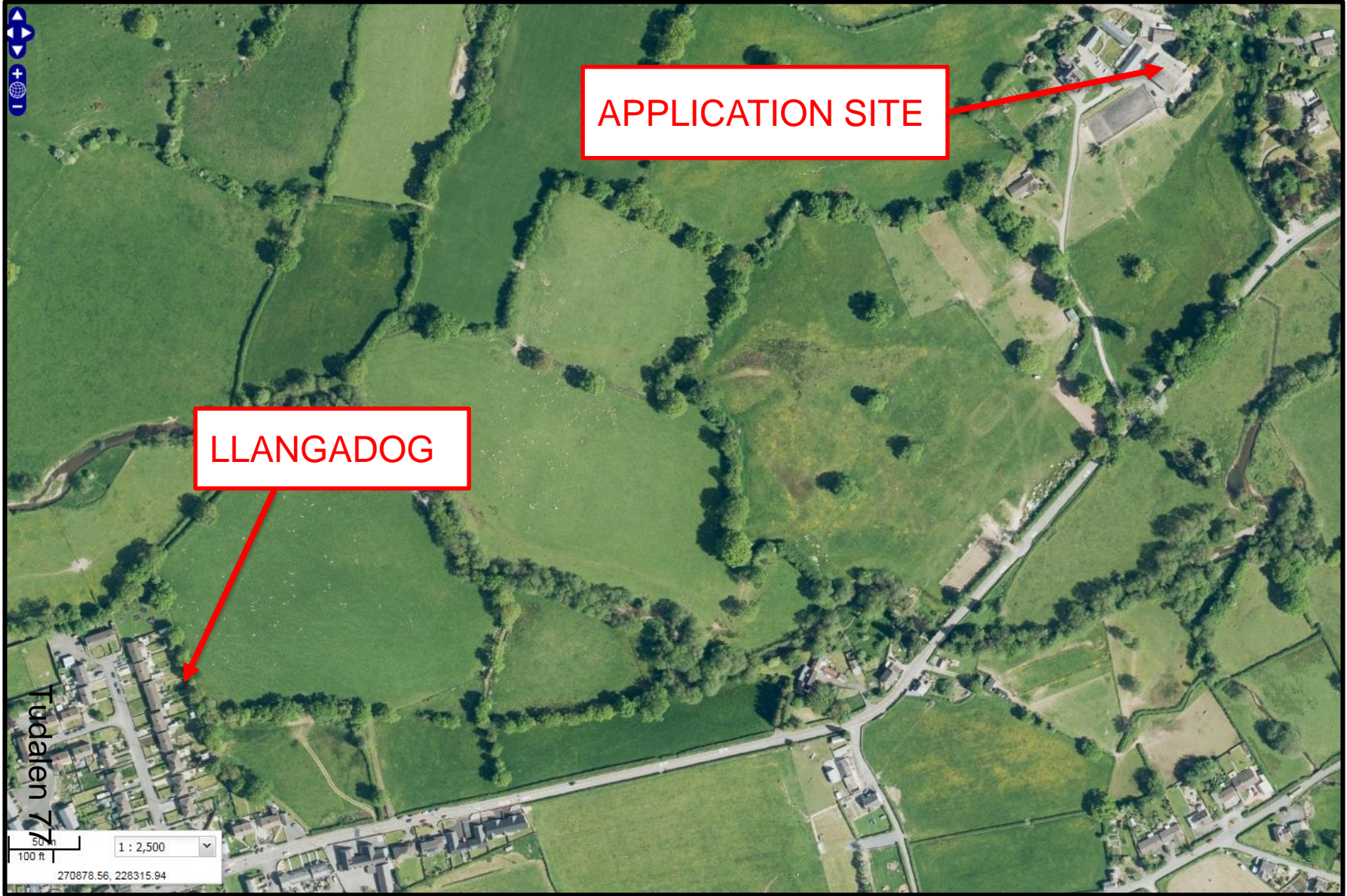
LLANGADOG

APPLICATION SITE

Llangadog

E/35128

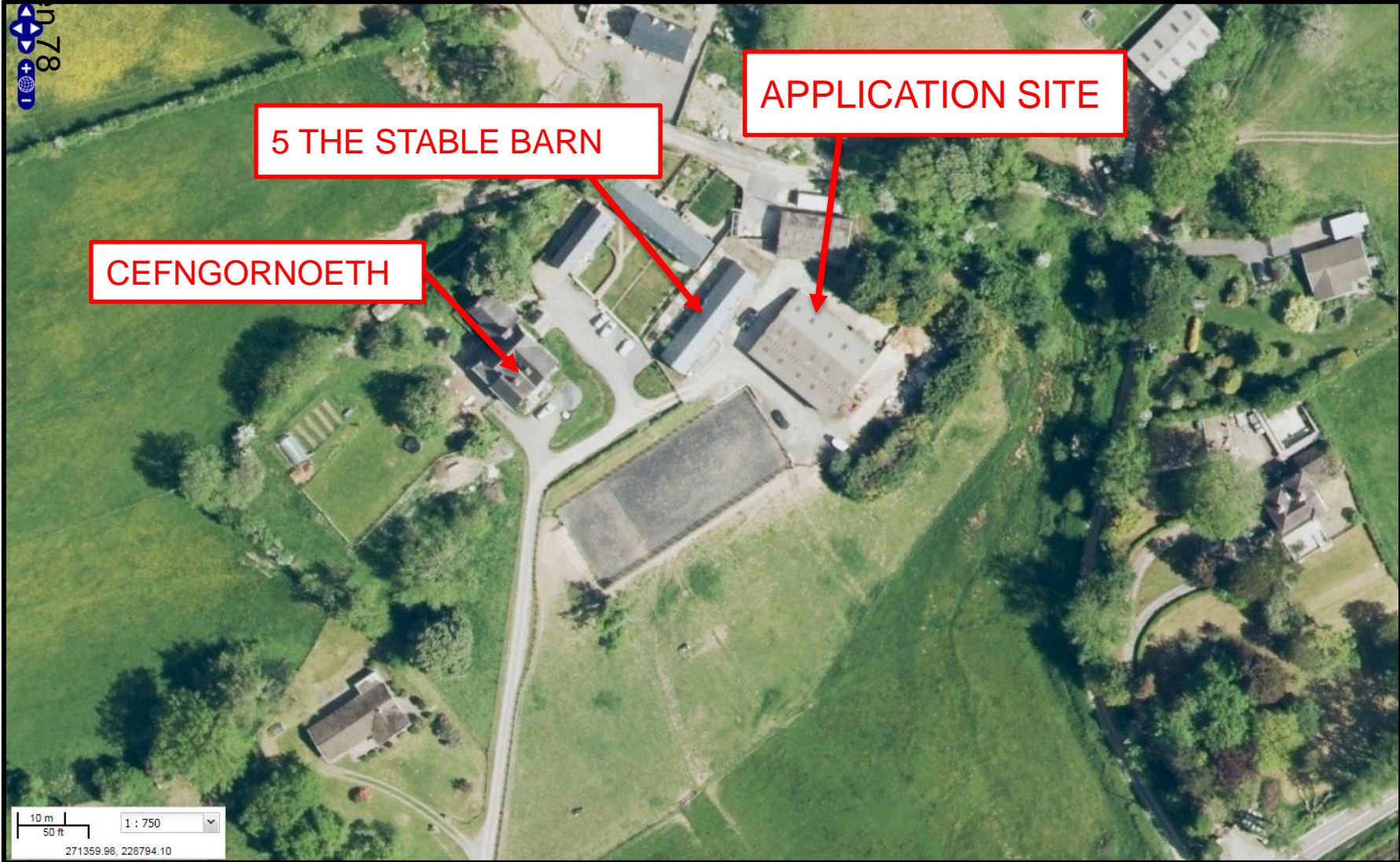
Aerial Photo Location Plan



E/35128

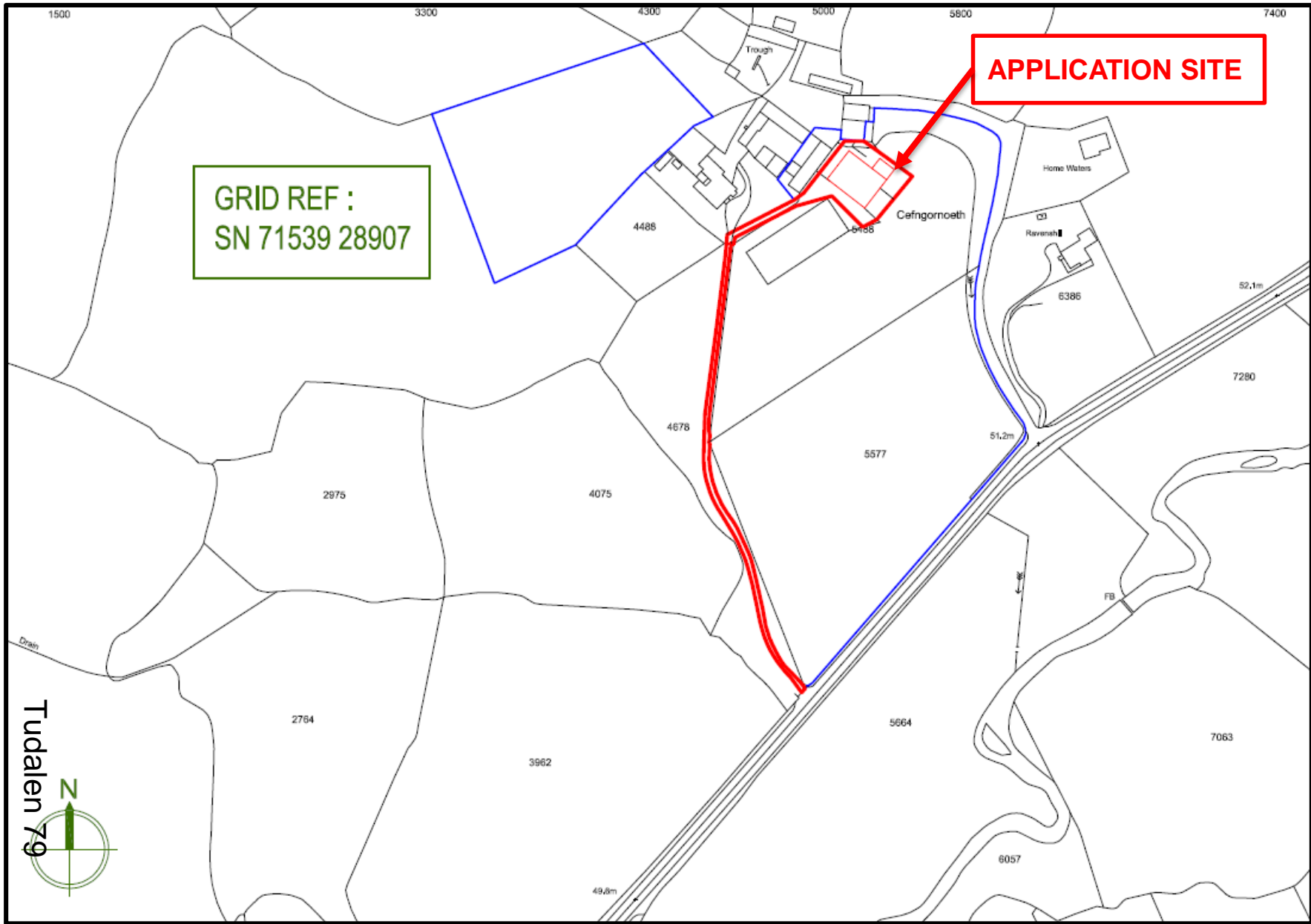
Aerial Photo of Site

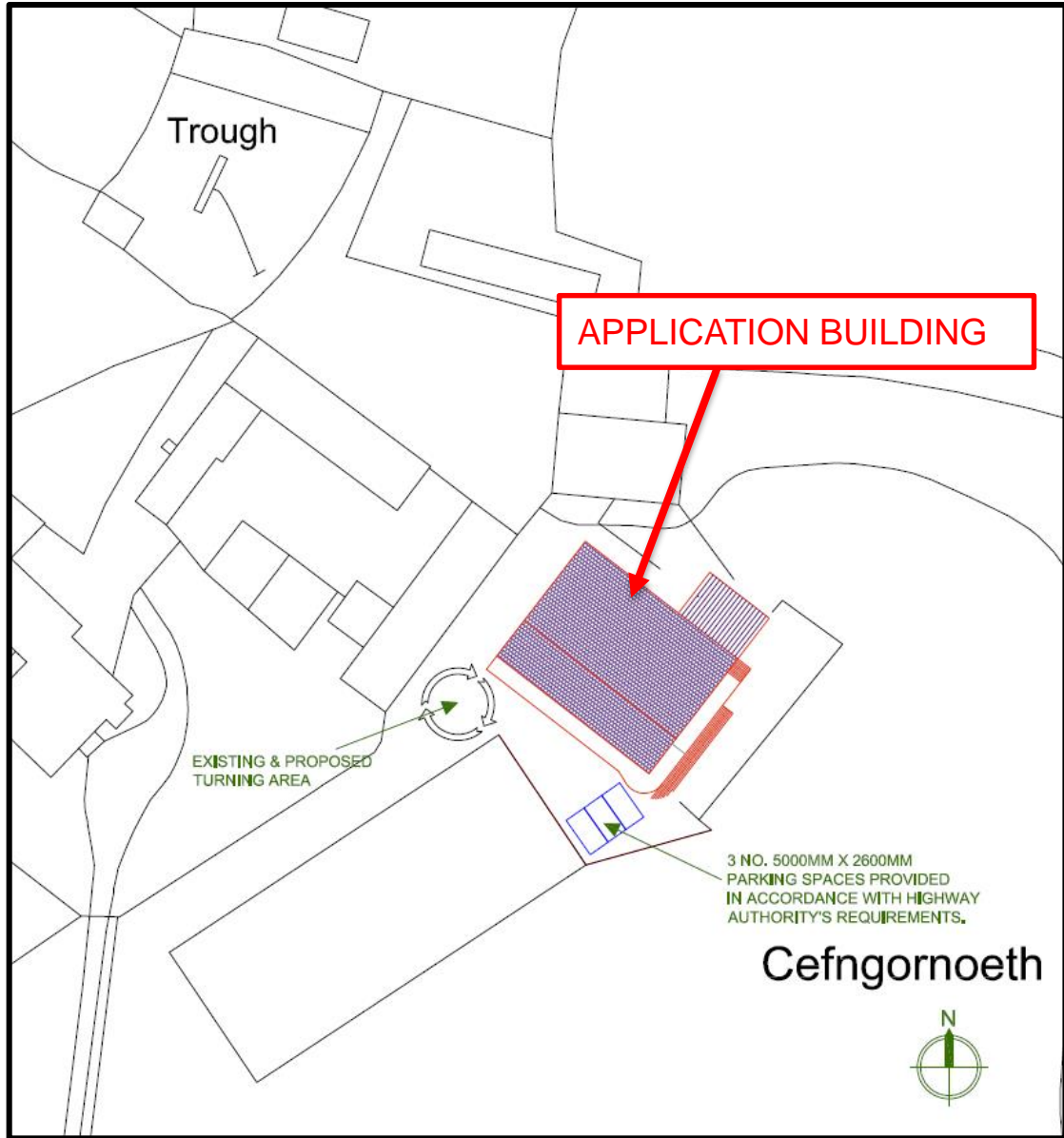
Tudalen 78



E/35128

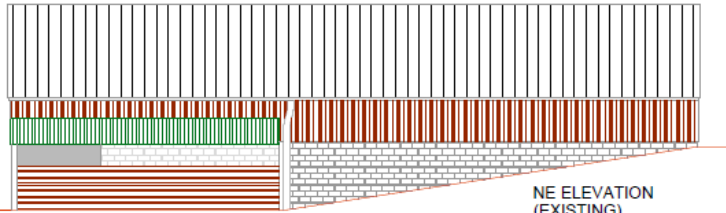
Location Plan



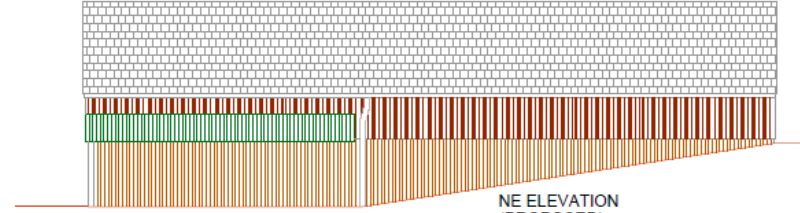


E/35128

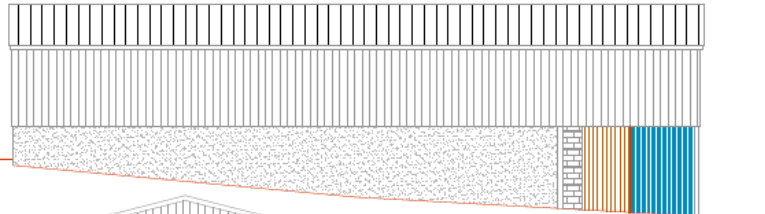
Existing and Proposed Elevations



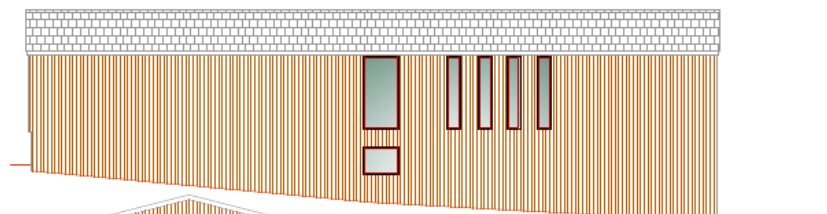
NE ELEVATION
(EXISTING)



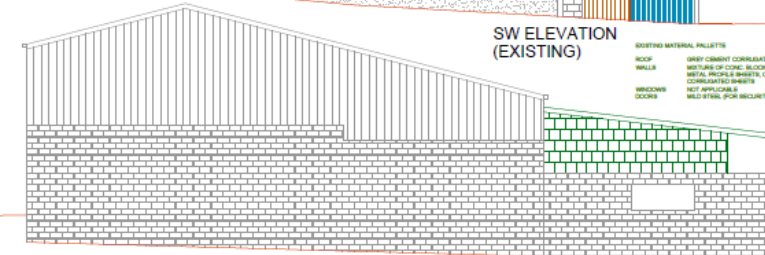
NE ELEVATION
(PROPOSED)



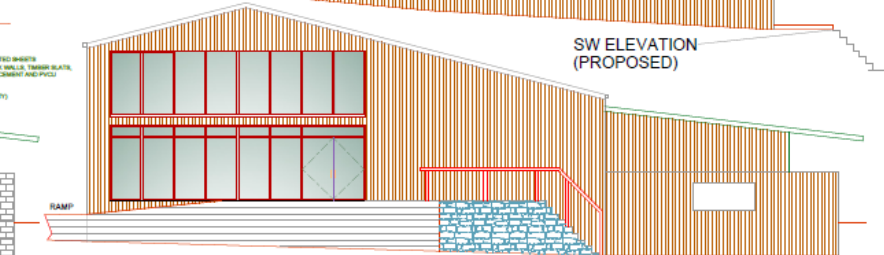
SW ELEVATION
(EXISTING)



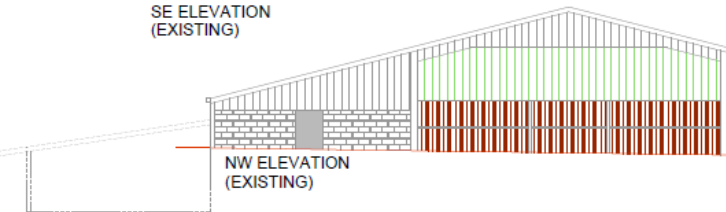
SW ELEVATION
(PROPOSED)



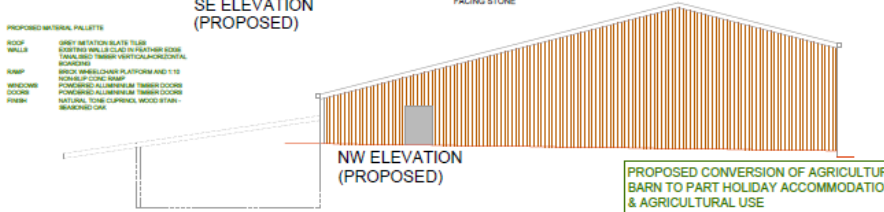
SE ELEVATION
(EXISTING)



SE ELEVATION
(PROPOSED)



NW ELEVATION
(EXISTING)



NW ELEVATION
(PROPOSED)

EXISTING MATERIAL PALETTE
ROOF GRAY CONCRETE CORRUGATED SHEETS
WALLS MIXTURE OF CONIC BLOCK WALLS, TIMBER SLATS,
METAL PROFILE SHEETS, CONCRETE AND BRICK
WINDOWS CORRUGATED SHEETS
DOORS MET APPLICATIONS
MILD STEEL (FOR SECURITY)

PROPOSED MATERIAL PALETTE
ROOF GRAY BRITISH SLATE TILES
WALLS EXISTING WALLS COLOURED WITH TIMBER SLATS
TIMBER SLOTTED BRITISH CORRUGATED
BOARDING
ROOF BRICK SMALL CONCRETE PLATES AND 1:10
ROOF SLOPE CONIC BRICK
WINDOWS POWERCOATED ALUMINIUM TIMBER DOORS
DOORS POWERCOATED ALUMINIUM TIMBER DOORS
FINISH NATURAL, TONE CLIPPERAL WOOD STAIN,
SEARCHED OIL

THE BRIEF HAS BEEN TO DESIGN A MODERN UNADORNED UNIT OF HOLIDAY ACCOMMODATION THAT DOES NOT INTERFERE WITH THE FUNCTIONAL REQUIREMENTS OF THE OTHER AGRICULTURAL USE AND FOOD PROCESSING OPERATIONS. THE TOTAL TRANSFORMATION OF THE STRUCTURE'S EXTERNAL SURFACES WITH NATURAL TIMBER REINFORCES ITS AGRARIAN HERITAGE AND GREATLY ENHANCES VISUAL AMENITY. THE DESIRED AIM IS TO POSITIVELY INTEGRATE THIS VISUALLY MUNDANE STRUCTURE INTO THE RURAL FRINGE CHARACTER OF ITS SURROUNDINGS. THE MODERNISTIC MATERIALS AND DESIGN DETAIL SITS LIGHTLY WITHIN THIS RURAL FRINGE, THUS REINFORCING LOCAL DISTINCTIVENESS. THE CHOICE OF AESTHETICALLY APPEALING TIMBER CLADDING HAS A LOW-REFLECTIVE FINISH AS WELL AS RECOGNISED SUSTAINABLE DEVELOPMENT CREDENTIALS.

PROPOSED CONVERSION OF AGRICULTURAL BARN TO PART HOLIDAY ACCOMMODATION & AGRICULTURAL USE

CEFNOROETH LLANGADOG,
CARMARTHENSHIRE, SA19 9AN

EXISTING & PROPOSED
ELEVATIONS

SCALE: 1:100 @ A2
DRAWING NO.: ELEV/S/E/001/2E
DATE: DEC 2016

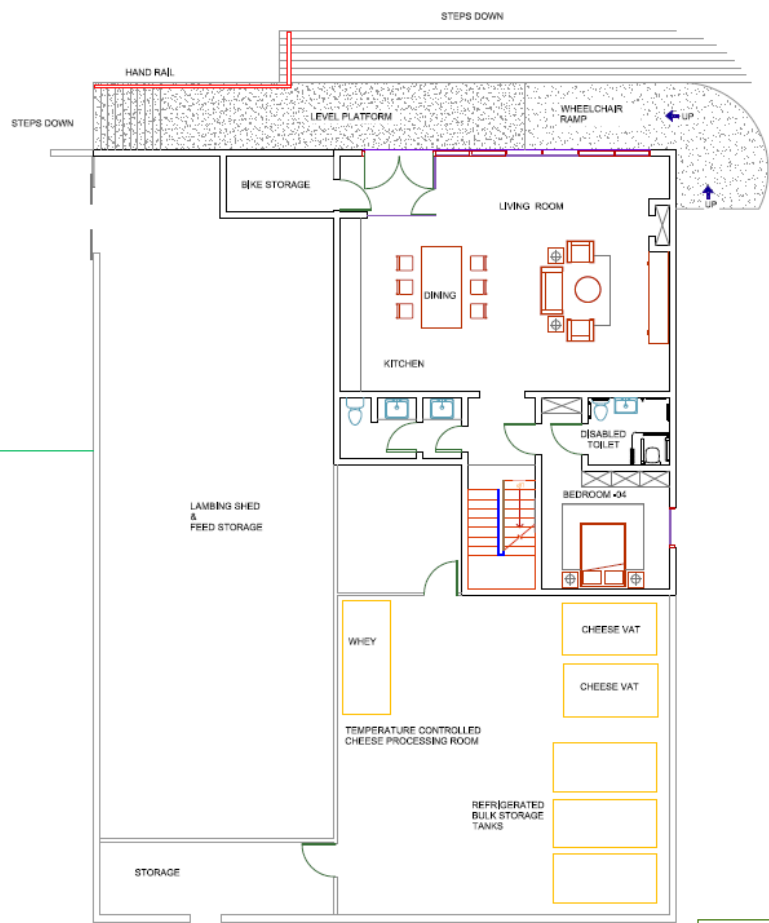


CHARTERED TOWN PLANNING AND DEVELOPMENT CONSULTANCY
UNIT 2, CROSS HANDS BUSINESS WORKSHOPS, HEOL PARC MAWR,
CROSS HANDS, CARMARTHENSHIRE, SA11 4BE
TEL: 01554 527111

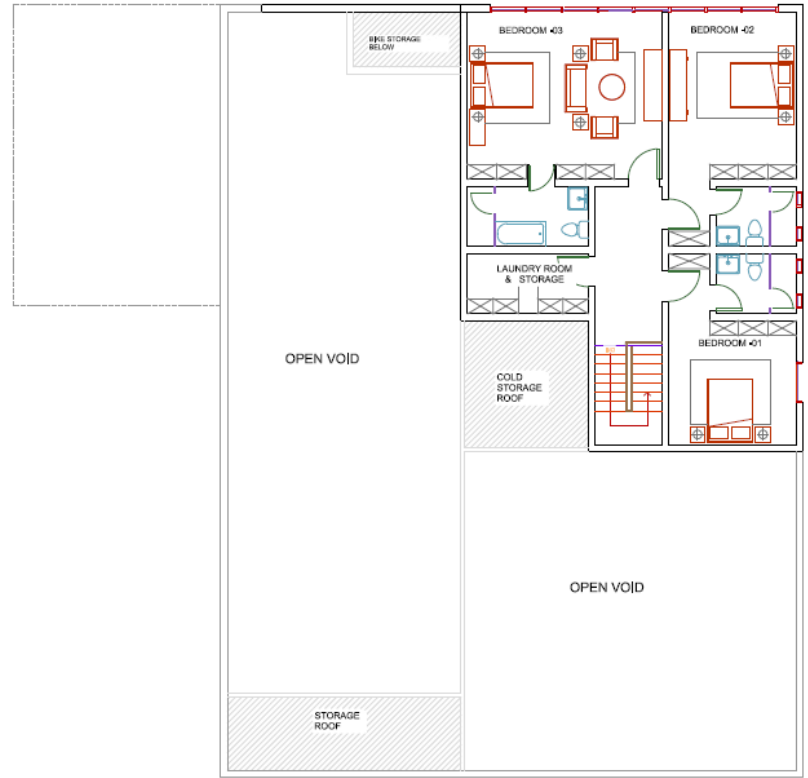
E/35128

Ground and First Floor Layout

Tudalen 82



GROUND FLOOR LAYOUT



FIRST FLOOR LAYOUT

GROSS FOOTPRINT INCL RAMP, STEPS	: 517 SQ M
HOLIDAY USE - GROUND FLOOR AREA	: 127 SQ M
HOLIDAY USE - FIRST FLOOR AREA	: 120 SQ M
AGRICULTURAL - FLOOR AREA	: 327 SQ M
EXTERNAL RAMP, STEPS ETC -	: 63 SQ M

E/35128

Photo of Application site



Tudalen 83

E/35128

Photo of Application Site

Judallen 84



E/35128

Photo of Building



Tudalen 85

E/35128

Tudalen 86

Photo of Building



E/35128

Photo of Building



Tudalen 87

E/35128

Tudalen 88

Photo of Building



E/35128

Photo of Building



Tudalen 89

E/35128

Tudalen 90

Photo of Building



E/35128

Elevation Image of Proposed Conversion



Tudalen 91

E/35128

Elevation Image of Proposed Conversion

Tudalen 92



E/35395

Tudalen 93

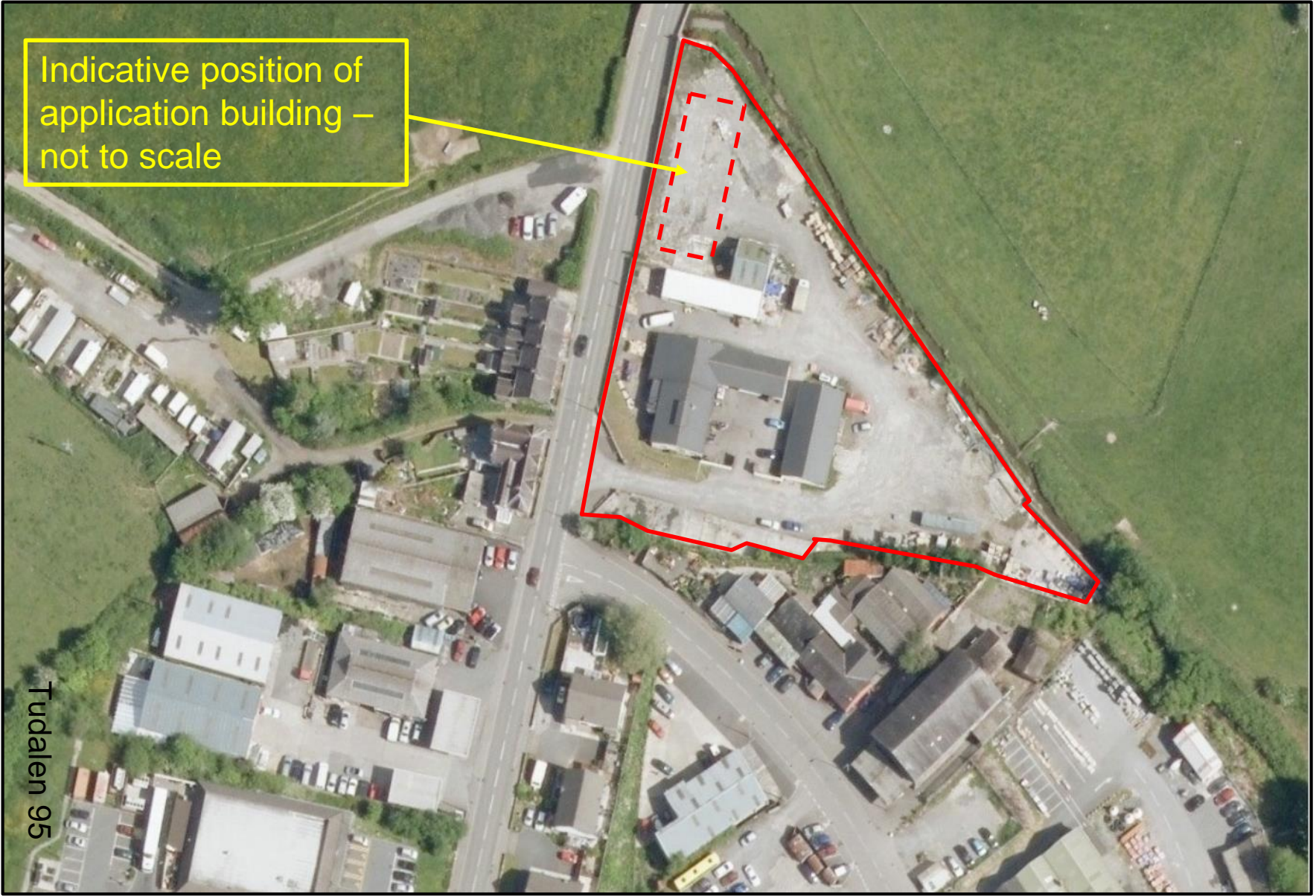
E/35395

Tudalen 94



E/35395

Indicative position of application building – not to scale

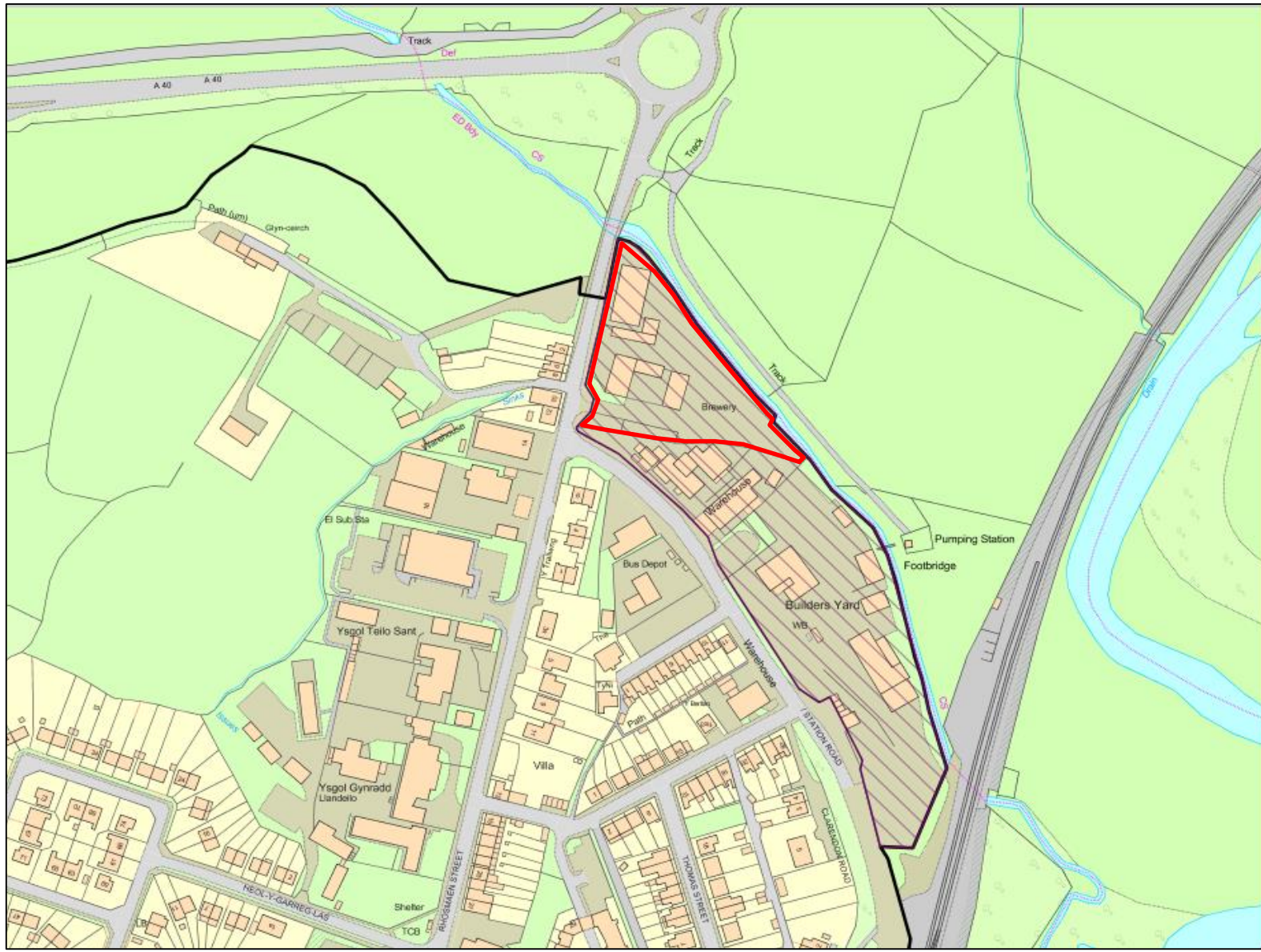


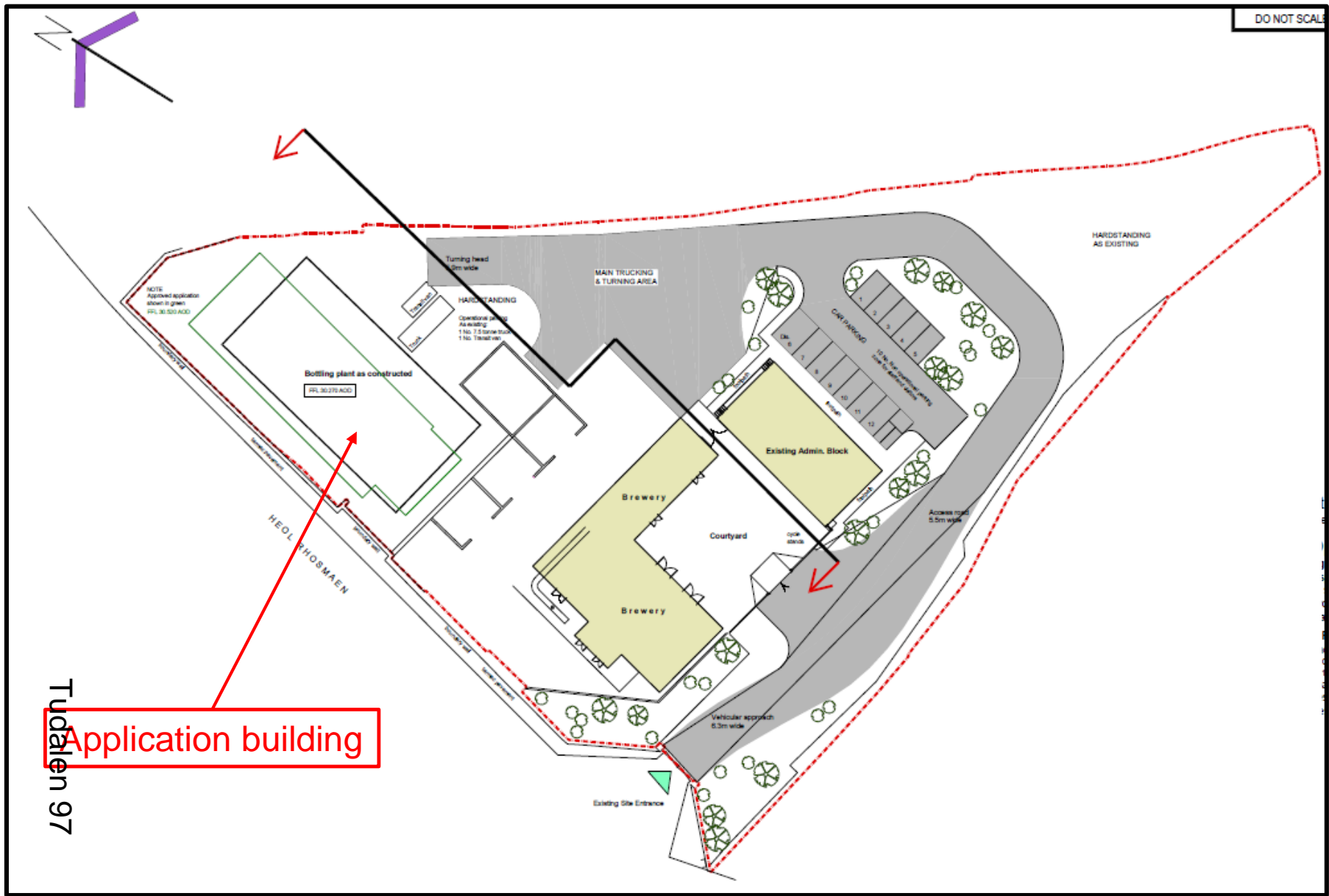
Tudalen 95

E/35395

LDP- Existing Employment Area

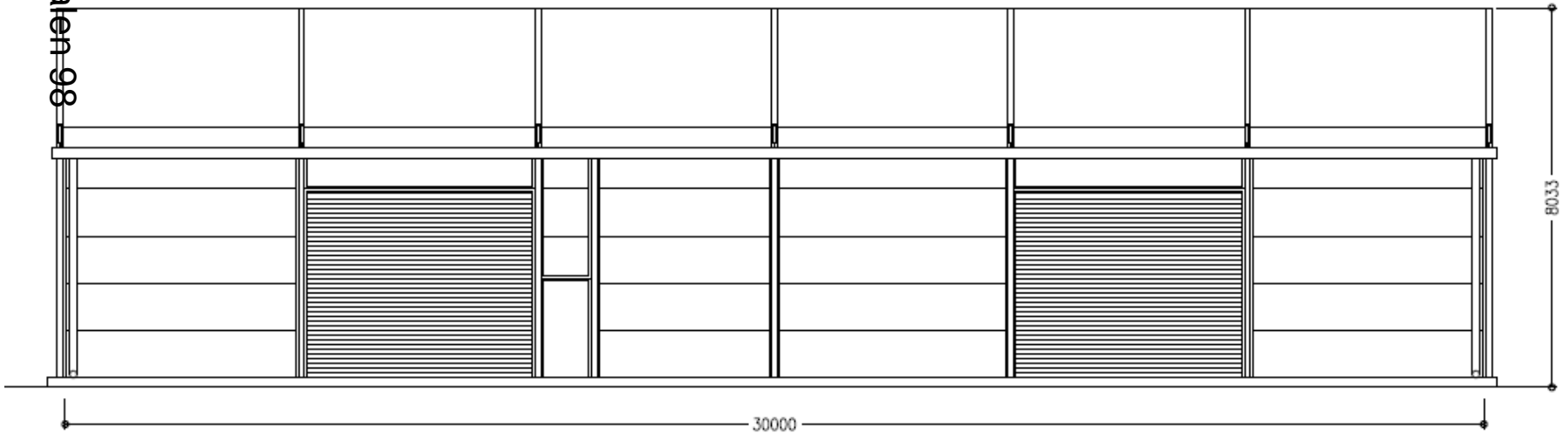
Tudalen 96



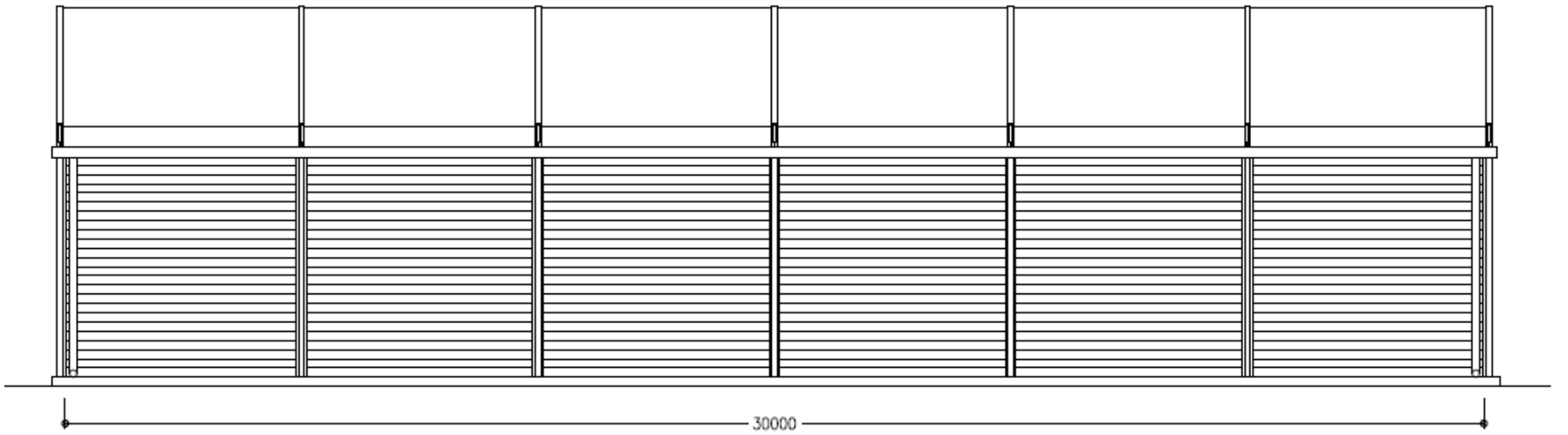


E/35395

Tudalen 98

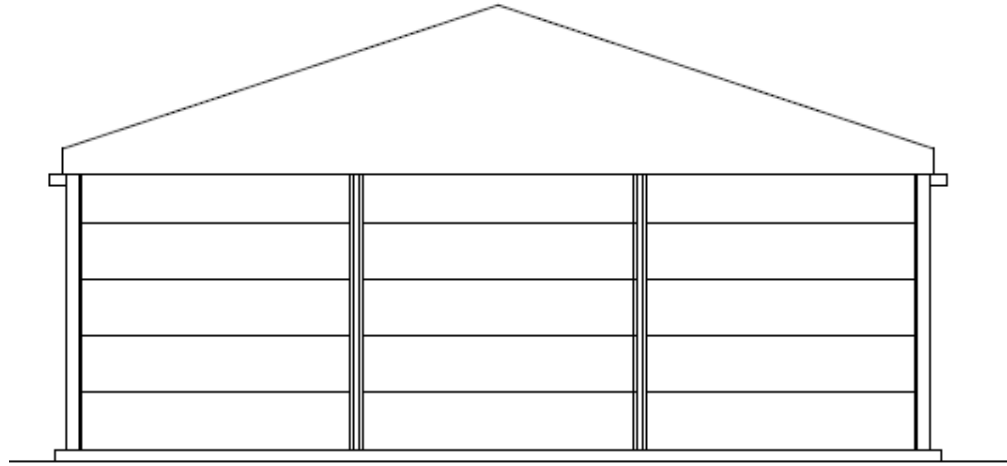


FRONT ELEVATION

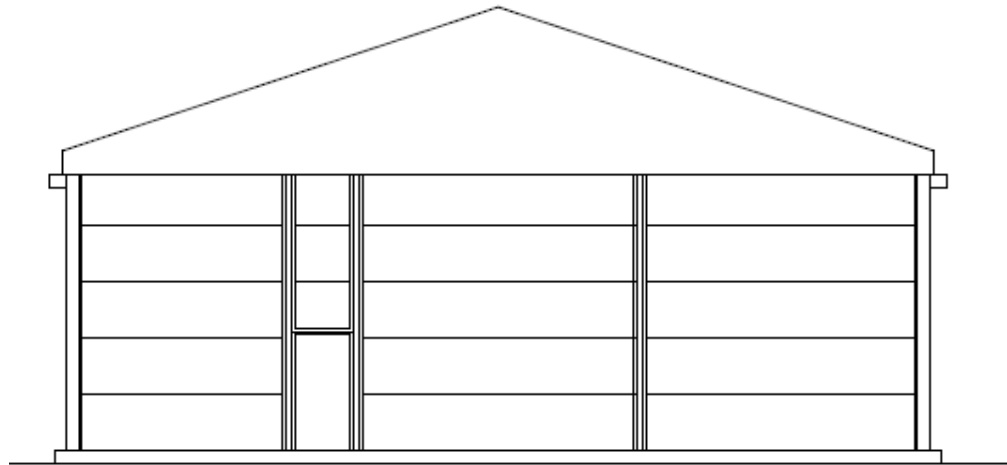


REAR ELEVATION

E/35395



SIDE ELEVATION A



SIDE ELEVATION B

Tudalen 99

E/35395

Tudalen 100



E/35395



101

E/35395

Tudalen 102



E/35395



Tudalen 103

E/35395

Tudalen 104



E/35395



Tudalen 105

E/35395

Tudalen 106



E/35395



Tudalen 107

E/35395

Tudalen 108



E/35395



E/35395

Tudalen 110



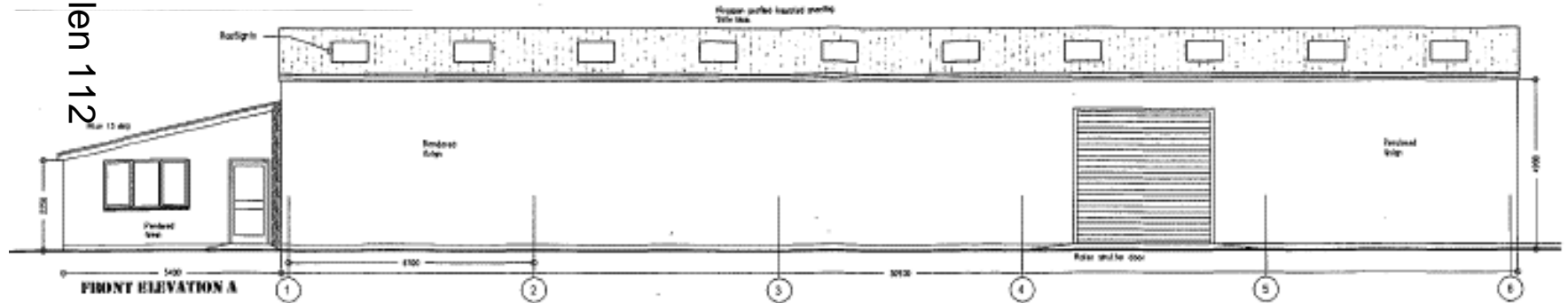
E/35395



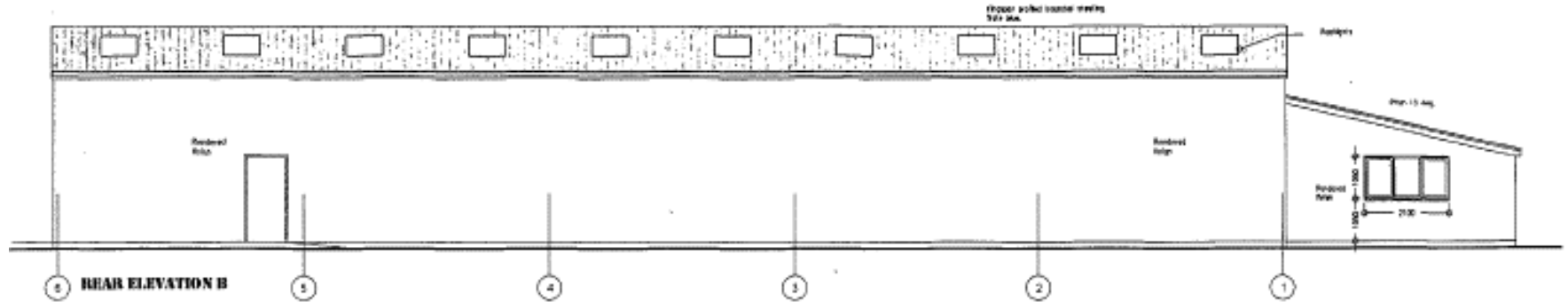
E/35395

Planning permission E/27895

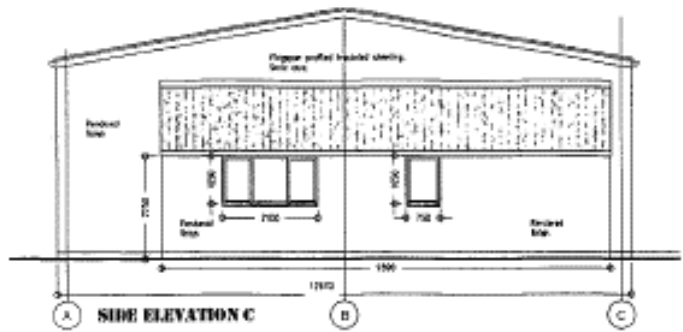
Tudalen 112



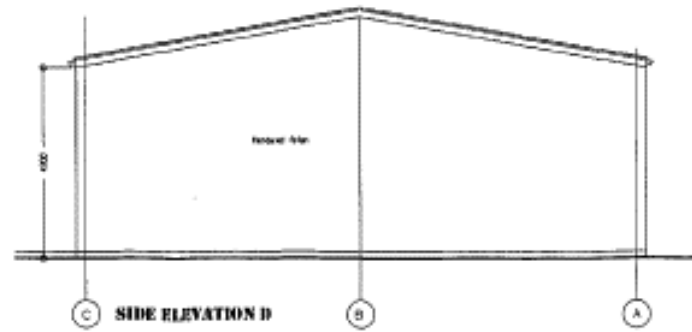
FRONT ELEVATION A



REAR ELEVATION B



SIDE ELEVATION C



SIDE ELEVATION D



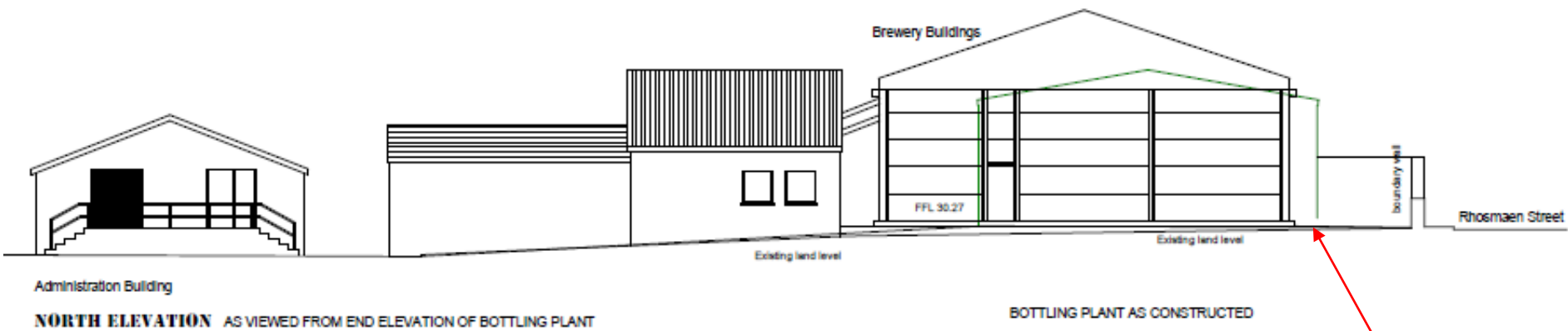
arwain

architects

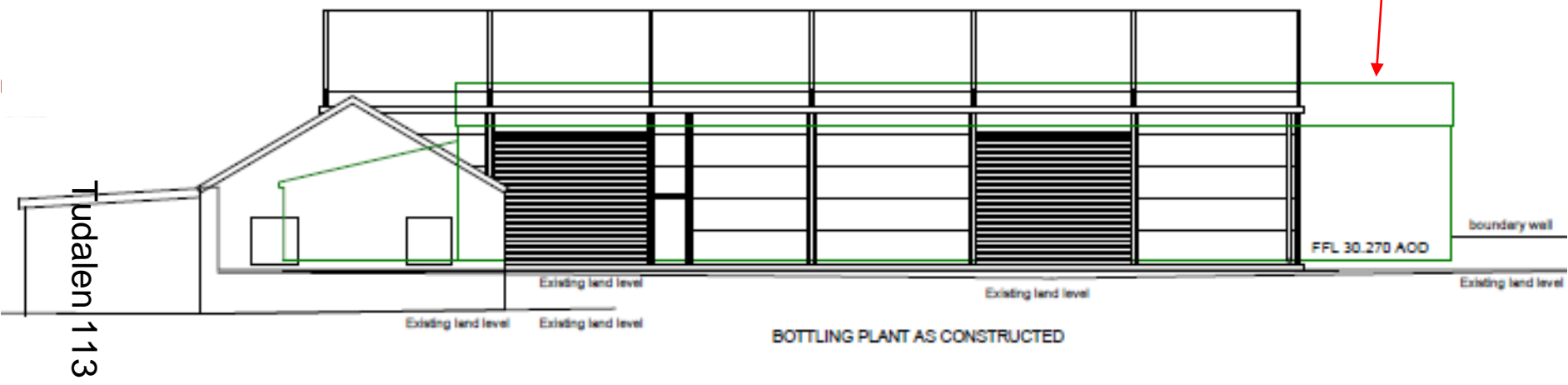
The Signal Box, Glamby Station House, Minards, Llandilo,
Carmarthenshire, Wales SA31 9TR
Email: arwain.architects@gmail.com 0747818521

Client Evan Evans Group	Project Proposed Works of Evan Evans Brewery, 1 Rhosman Street, Llandilo, Carm. SA19 6LU	Drawing Name Proposed bottling plant elevations	Scale 1: 100	Orig. No. 351 TPS8	Date February 2013	Issue Planning Issues	February 2013
----------------------------	--	--	-----------------	-----------------------	-----------------------	--------------------------	---------------

E/35395 As built / approved comparison



Green outline of approved building



Mae'r dudalen hon yn wag yn fwriadol

*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 29 MEHEFIN 2017
ON 29 JUNE 2017**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/33342
<i>Proposal & Location</i>	CONSTRUCTION OF 240 DWELLINGS TOGETHER WITH ASSOCIATED VEHICULAR AND PEDESTRIAN ACCESSES, CAR PARKING AND LANDSCAPING (RESERVED MATTERS TO OUTLINE S/15702) AT LAND AT GENWEN FARM, BYNEA, LLANELLI, SA14 9PH

DETAILS:

Application No. S/33342

APPRAISAL

Further to recent enquiries from the Welsh Government regarding the proposal and its likely impact upon the environment, officers are satisfied that the ES submitted represents a robust and relevant assessment of the likely impact of the development upon the environment and in particular the CBEEMS in the context of the current reserved matters application. The ES demonstrates that, with the implementation of the counteracting measures proposed as part of the development and secured by the conditional requirements of the outline permission, the development will not have a significant effect upon the features and objectives of the CBEEMS either alone or in combination with other developments.

In addition to the above, the applicant has submitted an updated Construction Environmental Management Plan (CEMP) and Landscape Management and Maintenance Plan in support of the application which correct anomalies in the previous versions of both Plans. The updated Plans are considered to be acceptable and NRW have confirmed their acceptance of the mitigation measures set out in the CEMP.

The submission of these updated plans require consequential changes to the wording of condition no. 2 and Note no.1 contained in the main report presented to the Committee. The condition and note are therefore to be amended to read as follows:

CONDITIONS

2 The development shall be carried out in accordance with the following approved plans and documents:-

- Chedworth (village) floor plans and elevations (CD-WD10-REV N) received on 24 December 2016;
- Roseberry (village) floor plans and elevations (RS-WD16-REV S) received on 24 December 2016;
- Clayton corner (village) floor plans and elevations (CCA-WD16-REV G) received on 24 December 2016;

- Clayton (village) floor plans and elevations (CA-WD16-REV D) received on 24 December 2016;
- Hatfield (village) floor plans and elevations (HT-WD16-REV R) received on 24 December 2016;
- Souter (village) floor plans and elevations (SU-WD-16-REV S) received on 24 December 2016;
- Rufford (village) floor plans and elevations (RF-WD16-REV R) received on 24 December 2016;
- Hanbury (village) floor plans and elevations (HB-WD16-REV P) received on 24 December 2016;
- Morden (village) floor plans and elevations (MR-WD16 REVK) received on 24 December 2016;
- Chedworth corner special (village) floor plans and elevations GDC-WD06) received on 24 December 2016;
- WHQS floor plans and elevations (WD01) received on 29 March 2017;
- WHQS floor plans and elevations (WD04) received on 29 March 2017;
- Garage floor plans and elevations (SGD-10) received on 24 December 2016;
- Phasing plan (PP01 REV A) received on 20 June 2017;
- Site sections (SS-01 REV A) received on 9 February 2016;
- Drawing Area Network Plan (BY23) received on 24 March 2016;
- Drainage betterment works – option 2 (10082-200-Rev D) received on 24 March 2017;
- Detailed soft landscape proposals plan (TDA.2183.01C) received on 20 June 2017;
- Pumping station compound (10082-202) received on 19 May 2017;
- Northern pumping station compound (10082-203) received on 16 June 2017;
- Management and maintenance plan (MMP-01 Rev. B) received 21 June 2017;
- 1:400 and 1:1600 scale tree constraints plans received 18 January 2016;
- Engineering Layout Plan (10082-102 REV I) received on 19 May 2017;
- Engineering Layout Plan (10082-100 REV E) received on 30 March 2017;
- Engineering Layout Plan (10082-101 REF F) received on 30 March 2017;
- Location Plan (LP-01-REV D) received on 7 March 2017;
- Planning Layout (PL-01-REV H) received on 29 March 2017;
- Site Investigation Report 11583/JJ/15/SI and Supplementary Letter Report received on 31 March 2016;
- Landscape Specification and Management Plan (Rev A – updated March 2017) received on 19 May 2017;
- Ecological Management Plan (March 2016) received on 1 April 2016;
- Drainage Strategy Report (March 2017 – Rev C) received on 7 March 2017;
- Construction Environmental Management Plan (June 2017) received on 23 June 2017;
- Dust Emission Control Plan (June 2017) received on 20 June 2017;
- Arboricultural Method Statement (March 2017) received on 7 March 2017.

REASONS

- 2 To ensure that only the approved works are carried out.

NOTE(S)

- 1 The applicant/developers attention is drawn to the conditional requirements of the outline planning permission (S/15702) to which this development relates. The following conditions of the outline planning permission are hereby fully/partially discharged:

Condition no. 5 – Scheme of Widening and Improvement of Genwen Road - PARTIALLY DISCHARGED.

- 5 This discharge of condition relates to the following schedule of plans:

- Engineering Layout Plan (10082-102 REV I) received on 19 May 2017;
- Engineering Layout Plan (10082-100 REV E) received on 30 March 2017;
- Engineering Layout Plan (10082-101 REF F) received on 30 March 2017;
- Planning Layout (PL-01-REV H) received on 29 March 2017.

Condition no. 7 – Ground Contamination – PARTIALLY DISCHARGED

- 7 This partial discharge of condition relates to Site Investigation Report 11583/JJ/15/SI and Supplementary Letter Report received on 31 March 2016.

Condition no. 8 – Noise Management Plan and Dust Mitigation Plan – FULLY DISCHARGED

- 8 This discharge of condition relates to the Construction Environmental Management Plan (June 2017) received on 23 June 2017 and the Dust Emission Control Plan (June 2017) received on 20 June 2017.

Condition no. 9 – Phasing – PARTIALLY DISCHARGED

- 9 This partial discharge of condition relates to the Phasing plan (PP01 REV A) received on 20 June 2017.

Condition no. 11 – Landscaping – FULLY DISCHARGED

- 11 This discharge of condition relates to the following schedule of plans and documents:

- Detailed Soft Landscape Proposals Plan (TDA.2183.01C) received on 20 June 2017;
- Management and Maintenance Plan (MMP-01 Rev. B) received 21 June 2017;
- Landscape Specification and Management Plan (Rev A – updated March 2017) received on 19 May 2017;
- Ecological Management Plan (March 2016) received on 1 April 2016;
- Arboricultural Method Statement (March 2017) received on 7 March 2017;
- 1:400 and 1:1600 scale tree constraints plans received 18 January 2016.

Condition no. 12 – Finished Levels – FULLY DISCHARGED

12 This discharge of condition relates to the following schedule of plans:

- Engineering Layout Plan (10082-102 REV I) received on 19 May 2017;
- Engineering Layout Plan (10082-100 REV E) received on 30 March 2017;
- Engineering Layout Plan (10082-101 REF F) received on 30 March 2017;
- Site sections (SS-01 REV A) received on 9 February 2016.

Condition no. 13 – Surface Water – PARTIALLY DISCHARGED

13 This discharge of condition relates to the following schedule of plans and documents:

- Engineering Layout Plan (10082-102 REV I) received on 19 May 2017;
- Engineering Layout Plan (10082-100 REV E) received on 30 March 2017;
- Engineering Layout Plan (10082-101 REF F) received on 30 March 2017;
- Drainage Strategy Report (March 2017 – Rev C) received on 7 March 2017.

Condition no. 14 – Construction Management Plan – FULLY DISCHARGED

14 This discharge of condition relates to the Construction Environmental Management Plan (June 2017) received on 23 June 2017.

Condition no. 15 – Removal of Suspended Solids from Surface Water – FULLY DISCHARGED

15 This discharge of condition relates to the Construction Environmental Management Plan (June 2017) received on 23 June 2017.

Condition no. 17 – Site Waste Management Plan - FULLY DISCHARGED

17 This discharge of condition relates to the Construction Environmental Management Plan (June 2017) received on 23 June 2017.

Condition no. 18 – Ecological Management Plan - FULLY DISCHARGED

18 This discharge of condition relates to the following schedule of plans and documents:

- Detailed Soft Landscape Proposals Plan (TDA.2183.01C) received on 20 June 2017;
- Management and Maintenance Plan (MMP-01 Rev. B) received 21 June 2017;
- Landscape Specification and Management Plan (Rev A – updated March 2017) received on 19 May 2017;
- Ecological Management Plan (March 2016) received on 1 April 2016;
- Arboricultural Method Statement (March 2017) received on 7 March 2017;
- 1:400 and 1:1600 scale tree constraints plans received 18 January 2016.

Condition no. 19 – Foul Drainage - PARTIALLY DISCHARGED

- 19 This discharge of condition relates to the following schedule of plans and documents:
- Engineering Layout Plan (10082-102 REV I) received on 19 May 2017;
 - Engineering Layout Plan (10082-100 REV E) received on 30 March 2017;
 - Engineering Layout Plan (10082-101 REF F) received on 30 March 2017;
 - Drainage Strategy Report (March 2017 – Rev C) received on 7 March 2017.

Condition no. 20 – Surface Water Removal - PARTIALLY DISCHARGED

- 20 This discharge of condition relates to the following schedule of plans and documents:
- Drawing Area Network Plan (BY23) received on 24 March 2016;
 - Drainage betterment works – option 2 (10082-200-Rev D) received on 24 March 2017;
 - Drainage Strategy Report (March 2017 – Rev C) received on 7 March 2017.

ADDENDUM – Area South

<i>Application Number</i>	S/35029
<i>Proposal & Location</i>	CHANGE OF USE OF AN OUTBUILDING TO 12 KENNELS AT DURCLAWDD FACH, LLANNON, LLANELLI, SA14 8JW

DETAILS:

CONSULTATIONS

Local Member – County Councillor E Dole has requested that the Committee visits the site as there is a potential noise impact on third party properties.

ADDENDUM – Area South

<i>Application Number</i>	S/35542
<i>Proposal & Location</i>	TO PROVIDE A FLAT PUBLIC PLAY AREA INCLUDING A CLIMBING STRUCTURE WEST OF THE GORSEDD CIRCLE IN PARC HOWARD AT PLAY AREA, PARC HOWARD, LLANELLI, SA15 3LQ

DETAILS:

CONSULTATIONS

Neighbours/Public – Five additional letters of representation have been received raising the following concerns and objections:-

- Health and safety;
- Unsympathetic addition to the historic park – visually dominant and overdevelopment;
- Lack of consultation – public money would be better spent on maintaining current provision within the park;
- Lack of justification;
- No proposals to re-instate unauthorised works;
- Coal mining risks.

It is considered that the above matters replicate original concerns received which are already addressed within the main body of the Planning Committee report.

On balance it is considered that the proposed development by its location and nature will not have an adverse effect on the registered historic park and garden, or the setting of the park or listed buildings contained within it.



***Y PWYLLGOR
CYNLLUNIO***

29 MEHEFIN 2017

RHANBARTH Y DE

**PLANNING
COMMITTEE**

29 JUNE 2017

AREA SOUTH

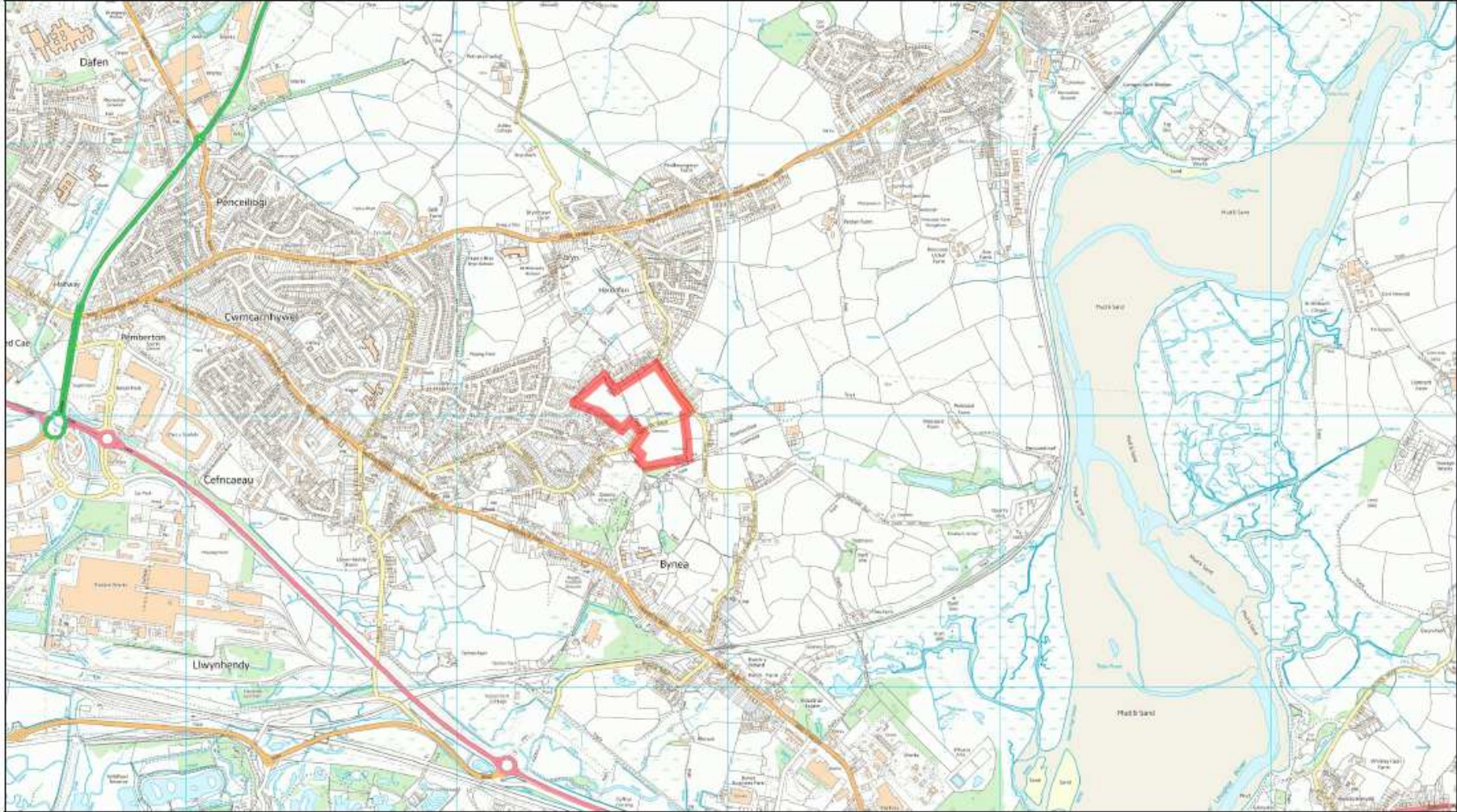
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



S/33342

S/33342



S/33342



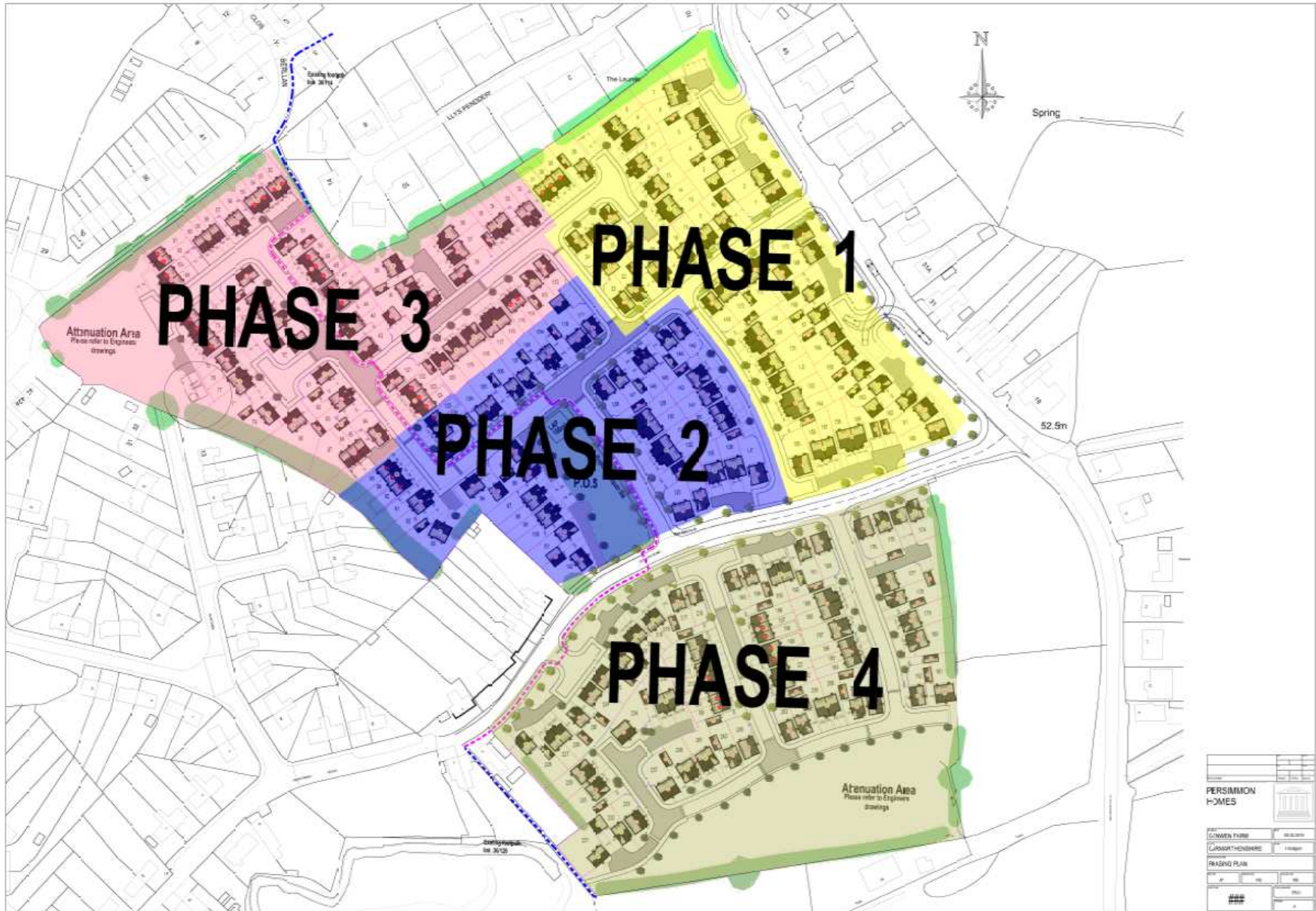
S/33342



S/33342



S/33342



S/33342



Tudalen 131

S/33342



S/33342



S/33342

The architectural drawings consist of three elevations and two floor plans. The Front Elevation shows a two-story house with a gabled roof, a front door with a small porch, and a large window on the first floor. The Rear Elevation shows a side profile with a gabled roof and a small window. The Side Elevation shows a two-story house with a gabled roof, a front door, and a window. The Ground Floor Plan shows a layout with a Living area, Dining, Kitchen, Hall, WC, and a front porch. The First Floor Plan shows a layout with an Office/Bedroom, Bedroom, Bathroom, and Bedroom 1.

PERSIMMON HOMES		
969sqft		
Hatfield (Village)	246413	
HT-WD16	100gA1, 100gA4	
Plans & Elevations (Planning)		
		Rev R

S/33342



Tudalen 137

PERSIMMON
HOMES

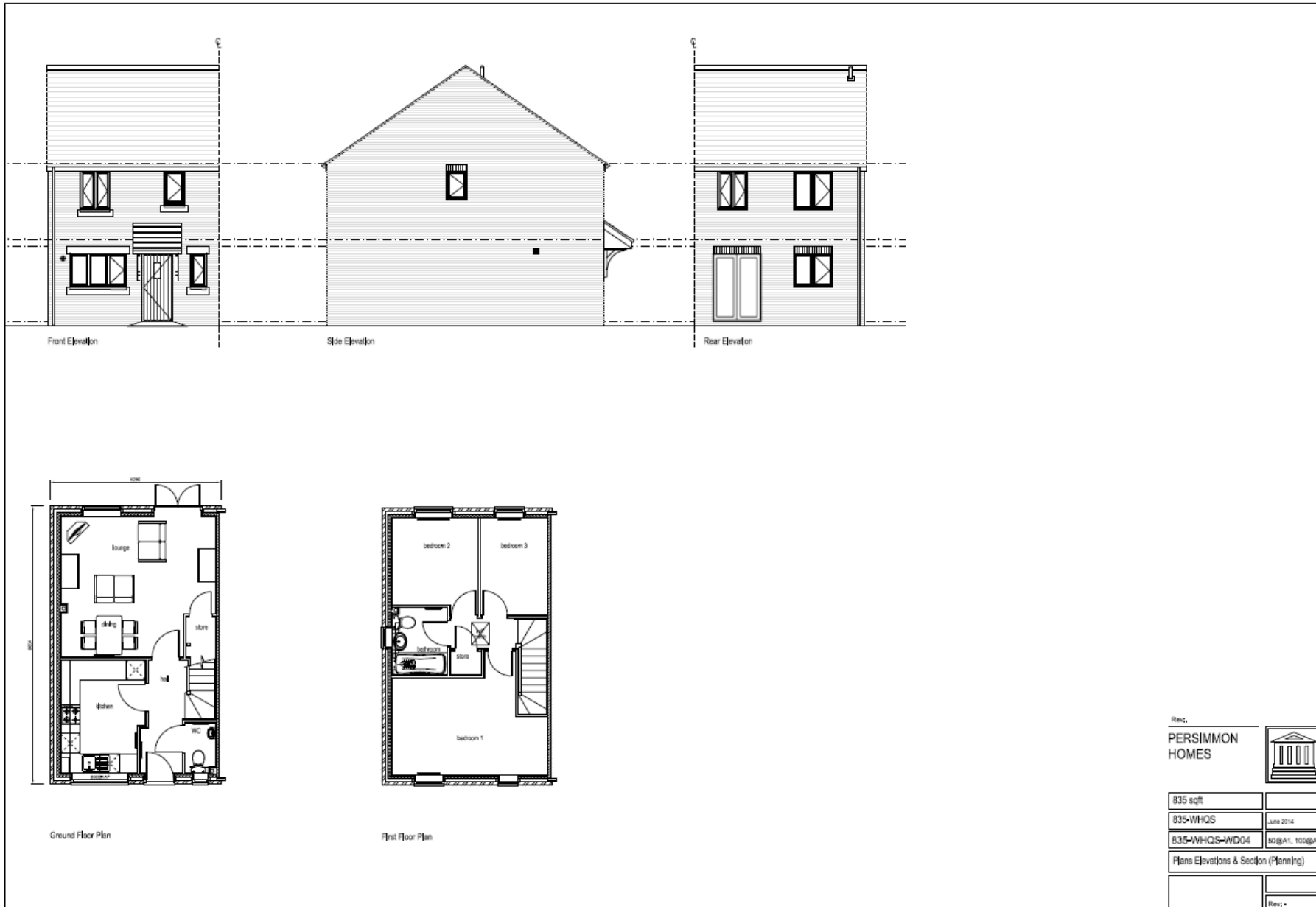


932	
Souter (Village)	240413
SL-WD16	808@A1 109@A3
Plans & Elevations (Planning)	
	Rev 6

S/33342



S/33342



S/33342

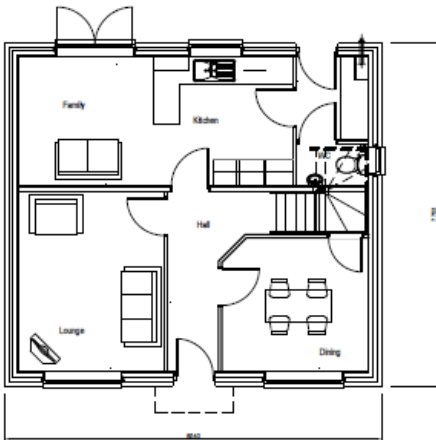


Front Elevation

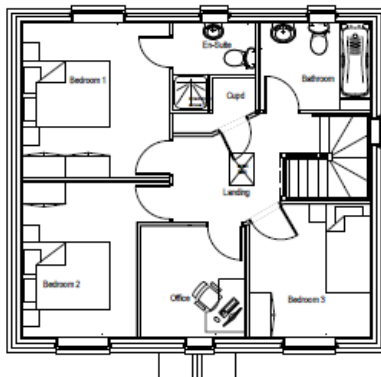
Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan

PERSIMMON
HOMES



1222sqft	
Chedworth	02067
CO-WD 10	50gA1 100gA3
Plans & Elevations (Planning)	
	Rev H

S/33342



Tudalen 141

Tudalen 142

S/33342



S/33342



Tudalen 143

Tudalen 144

S/33342



S/33342



Tudalen 145

Tudalen 146

S/33342



S/33342



Tudalen 147

Tudalen 148

S/33342



S/33342



Tudalen 149

Tudalen 150

S/33342



S/33342



Tudalen 151

Tudalen 152

S/33342



S/33342



Tudalen 153

Tudalen 154

S/33342



S/33342



Tudalen 155

Tudalen 156

S/33342



S/33342



Tudalen 157

Tudalen 158

S/33342



S/33342



Tudalen 159

Tudalen 160

S/33342



S/33342



Tudalen 161

Tudalen 162

S/33342



S/33342



Tudalen 163

Tudalen 164

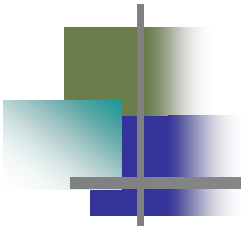
S/33342



S/33342

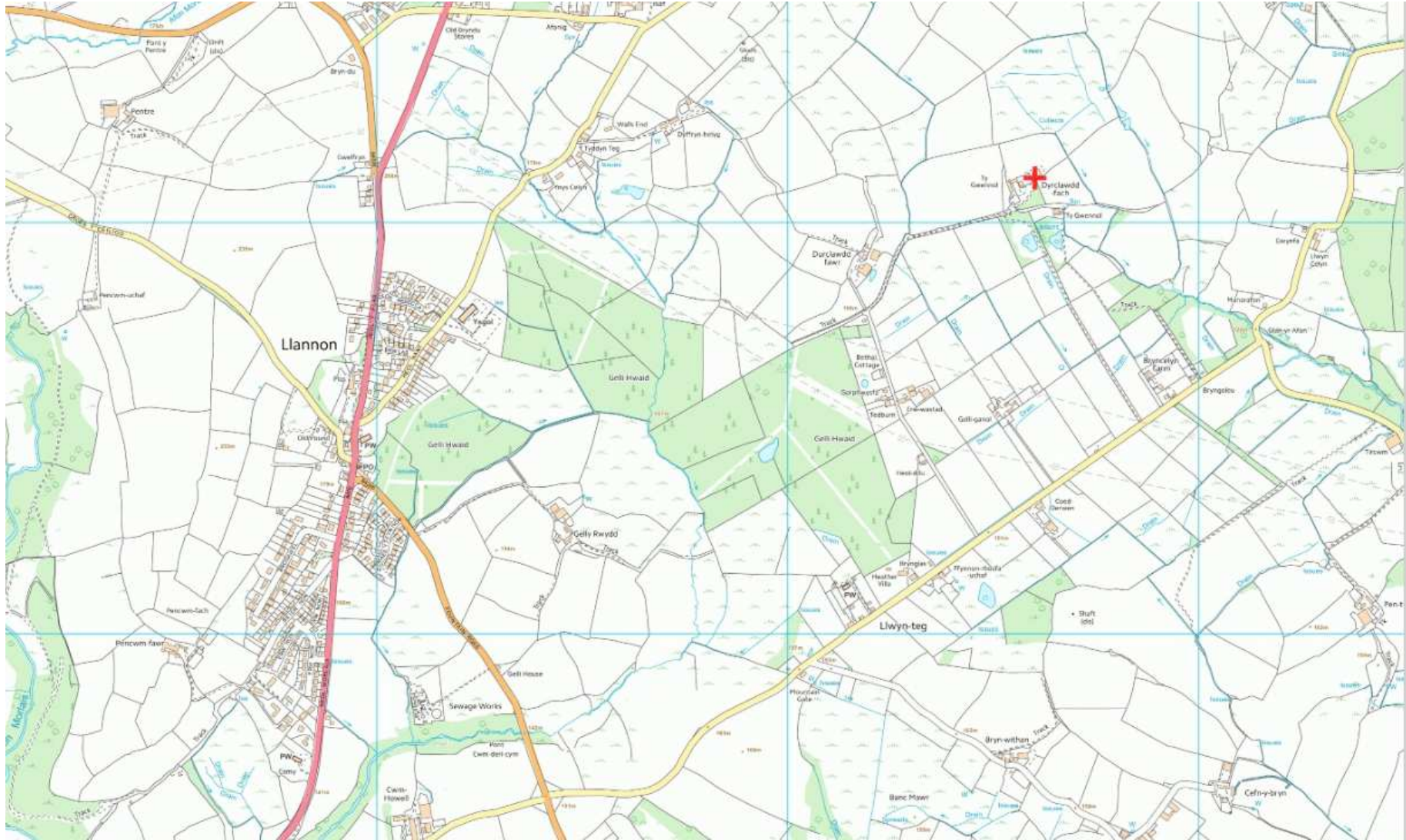


Tudalen 165



S/35029

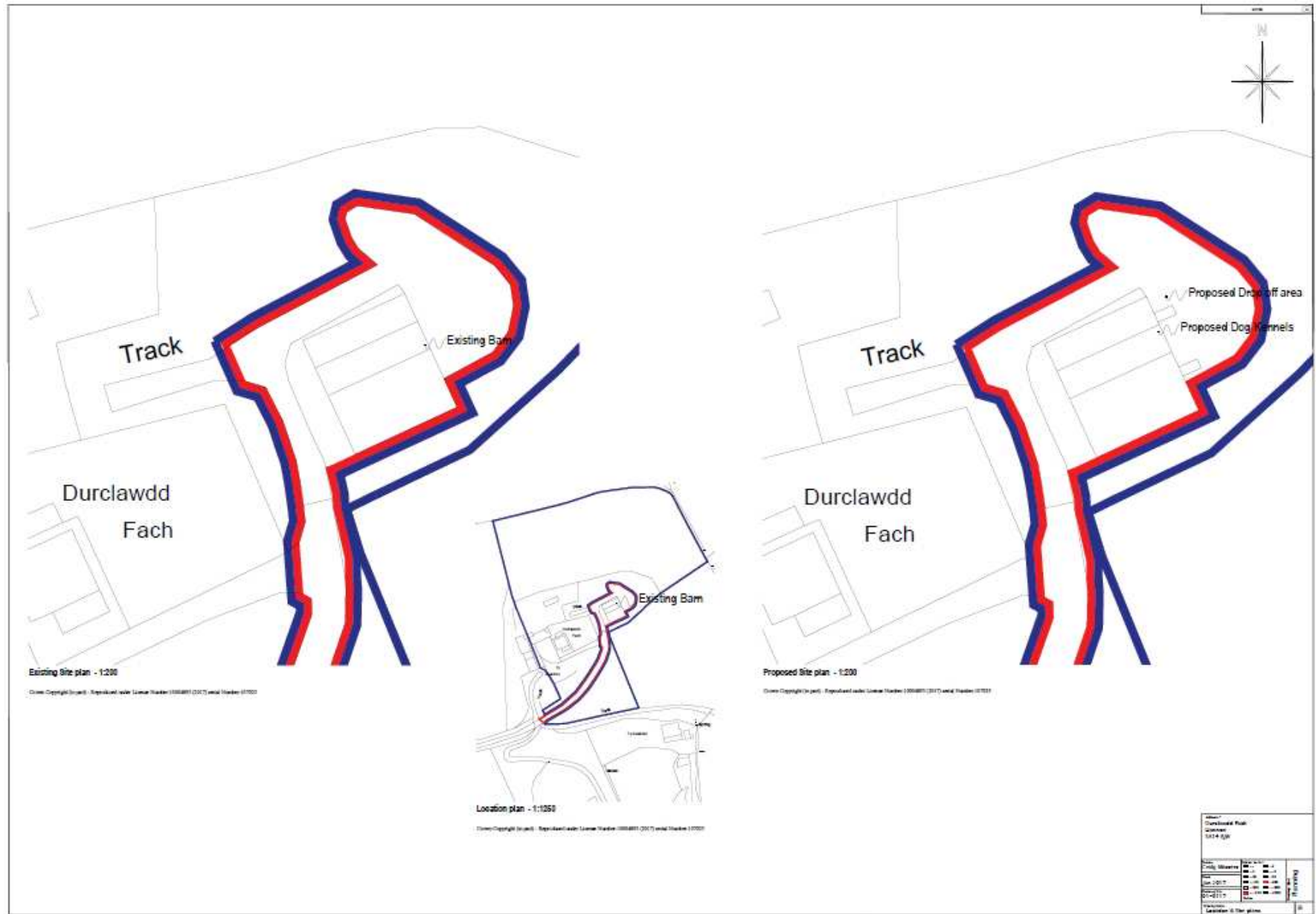
S/35029



S/35029

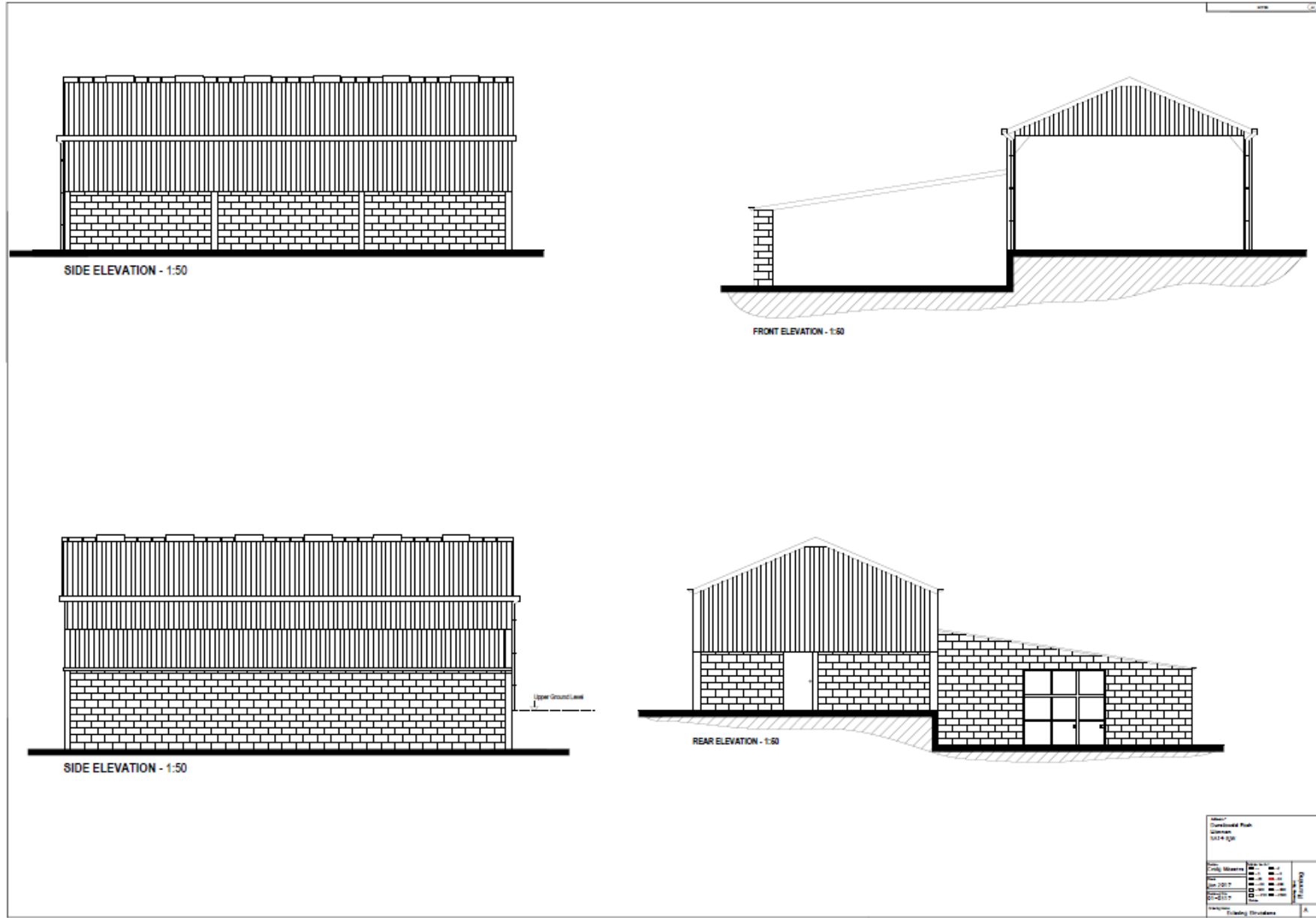


S/35029



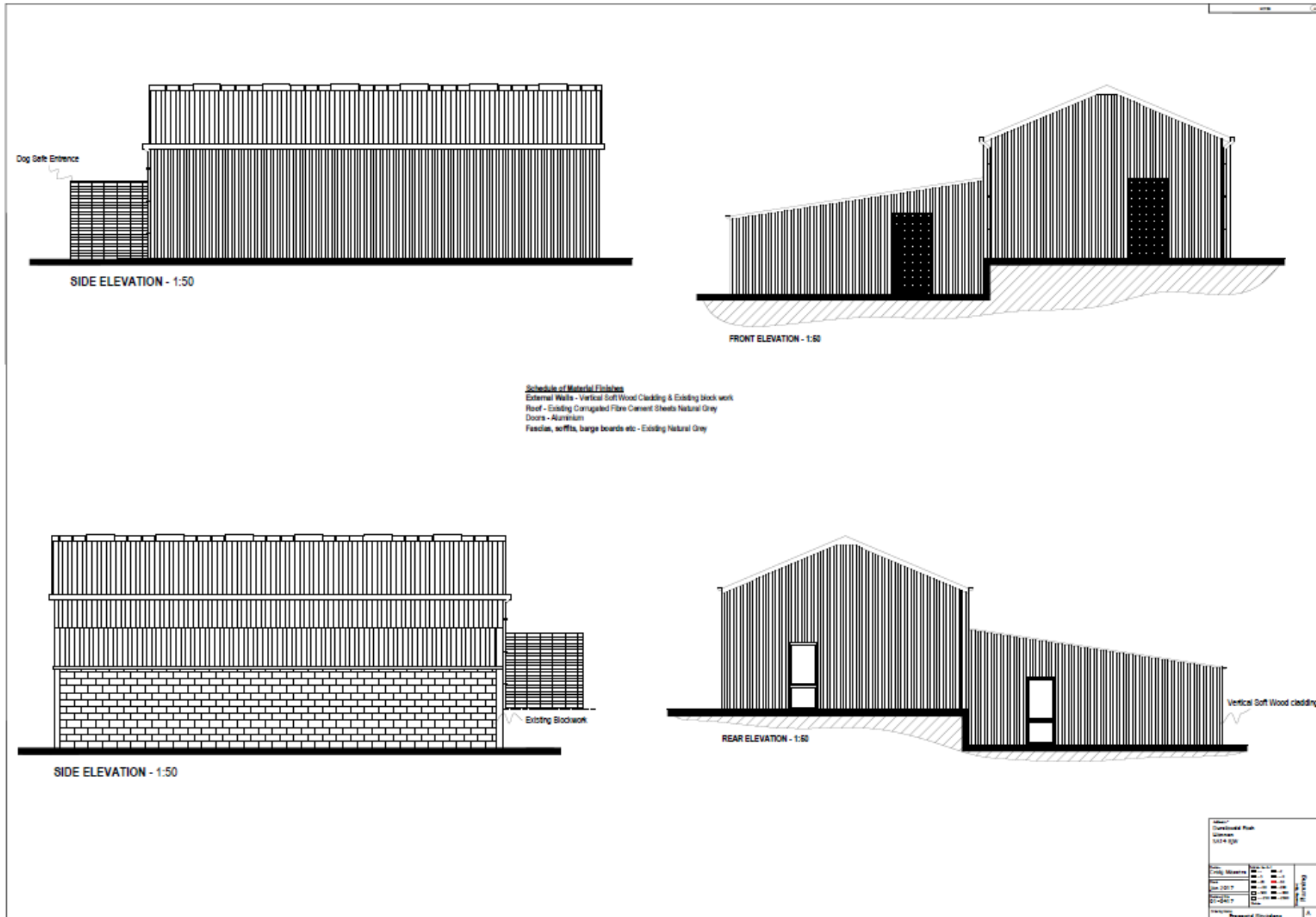
S/35029

Existing



S/35029

Proposed



Tudalen 172

S/35029



S/35029



Tudalen 173

Tudalen 174

S/35029



S/35029



Tudalen 175

Tudalen 176

S/35029



S/35029



Tudalen 177

Tudalen 178

S/35029



S/35029



Tudalen 179

Tudalen 180

S/35029



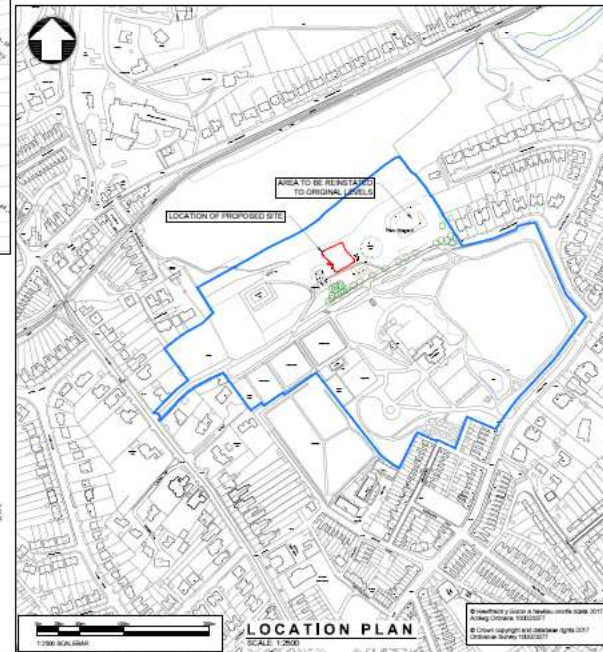
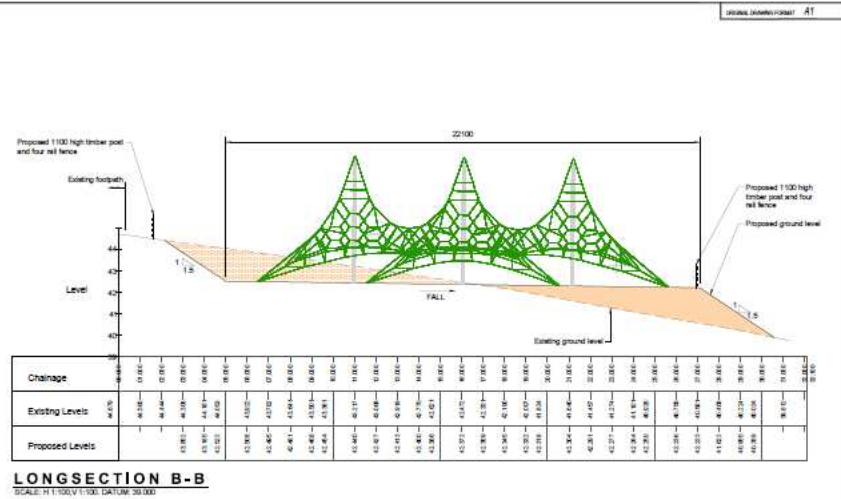
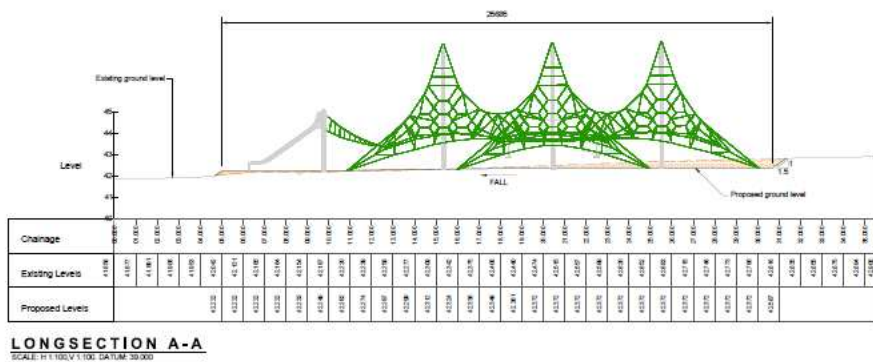
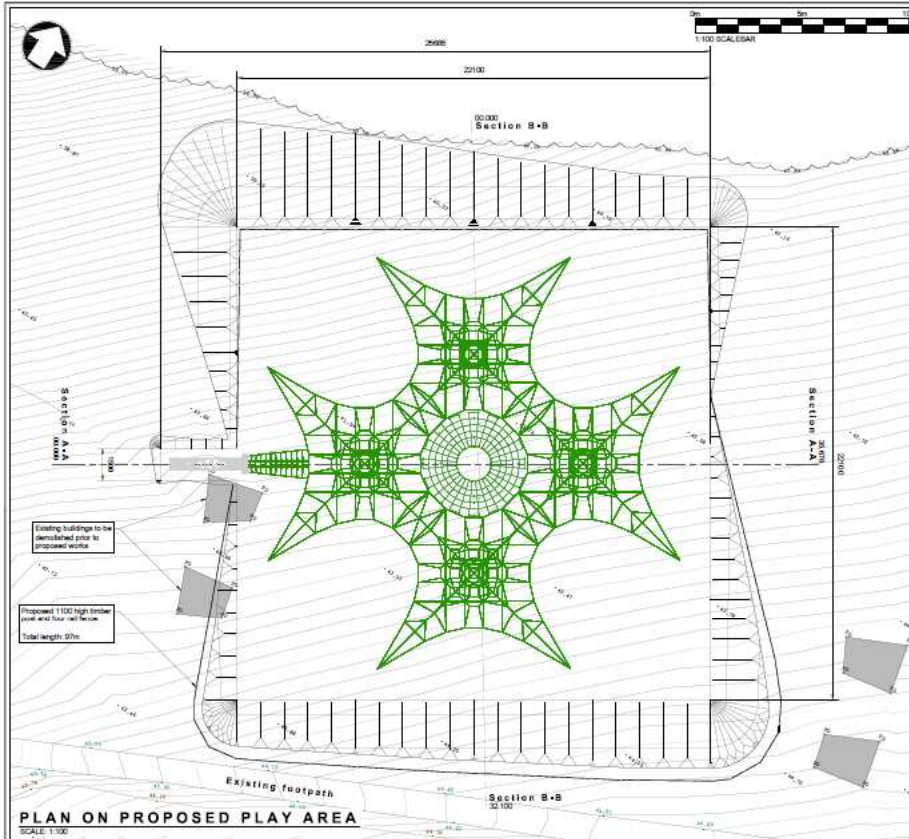


S/35542

S/35542



S/35542



PLANNING

Sir Gâr
Carmarthenshire
County Council

Ruth Mullen BSc (Hons)
Councillor for Amgylfach
is Acting Officer in Charge,
Adrian Angibach,
Head of Sir Gâr,
Sir Gâr Park, SA31 1LP

Director of Environment,
Highways and Transport Division,
Environment Department,
County Hall,
Carmarthen,
Carmarthenshire, SA31 1LP

PARC HOWARD PLAY AREA

LAYOUT AND PROPOSED DETAILS OF PLAY AREA

Drawn By	Date	Checked	Date	Approved	Date
JBW	03.05.17	RME	05.05.17	RME	05.05.17

Project: 80.0080.665
Drawing: PLA 001

S/35542



Tudalen 185

Tudalen 186

S/35542



S/35542



Tudalen 187

Tudalen 188

S/35542



S/35542



Tudalen 190

S/35542



S/35542



Tudalen 191

Tudalen 192

S/35542



S/35542



Mae'r dudalen hon yn wag yn fwriadol

*Ardal
Gorllewin
Area West*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 29 MEHEFIN 2017
ON 29 JUNE 2017**

**I'W BENDERFYNU/
FOR DECISION**

ADDENDUM



ADDENDUM – Area West

<i>Application Number</i>	W/34603
<i>Proposal & Location</i>	SITING OF 4 NO. DETACHED DWELLING HOUSES AT LAND ADJACENT TO, YNYSDAWEL, HEOL CWMMAWR, DREFACH, LLANELLI, SA14 7AE

DETAILS:

CONSULTATIONS

Neighbours/Public - One third party representation has expressed concern at the potential loss of a mature Ash tree which is located along the eastern boundary of the site; the site layout plan submitted as part of this application demonstrates that the siting of the dwellings will not impact on the said tree. For the avoidance of doubt, a further landscaping condition will be attached to the decision notice which shall include provision for the retention and protection of the Ash Tree.

CONDITION

- 16 In relation to any detailed or reserved matters application a detailed landscaping scheme, including the retention of any existing landscape features (which shall include the mature Ash tree along the eastern boundary of the site) and the indication of tree species, size and number of trees and/or shrubs to be planted, shall be submitted to and specifically approved in writing by the Local Planning Authority prior to the commencement of the development and shall, following approval of such a scheme, be implemented in the first planting season following commencement of the development or at such other time as may be specifically approved in writing by the Local Planning Authority.

REASON

- 16 In the interest of visual amenity and to retain on site and protect features of biodiversity and landscape importance and to preserve a satisfactory standard of local environment. (Policy EQ4 of the Carmarthenshire LDP)

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

29 MEHEFIN 2017

29 JUNE 2017

***RHANBARTH Y
GORLLEWIN***

**AREA
WEST**

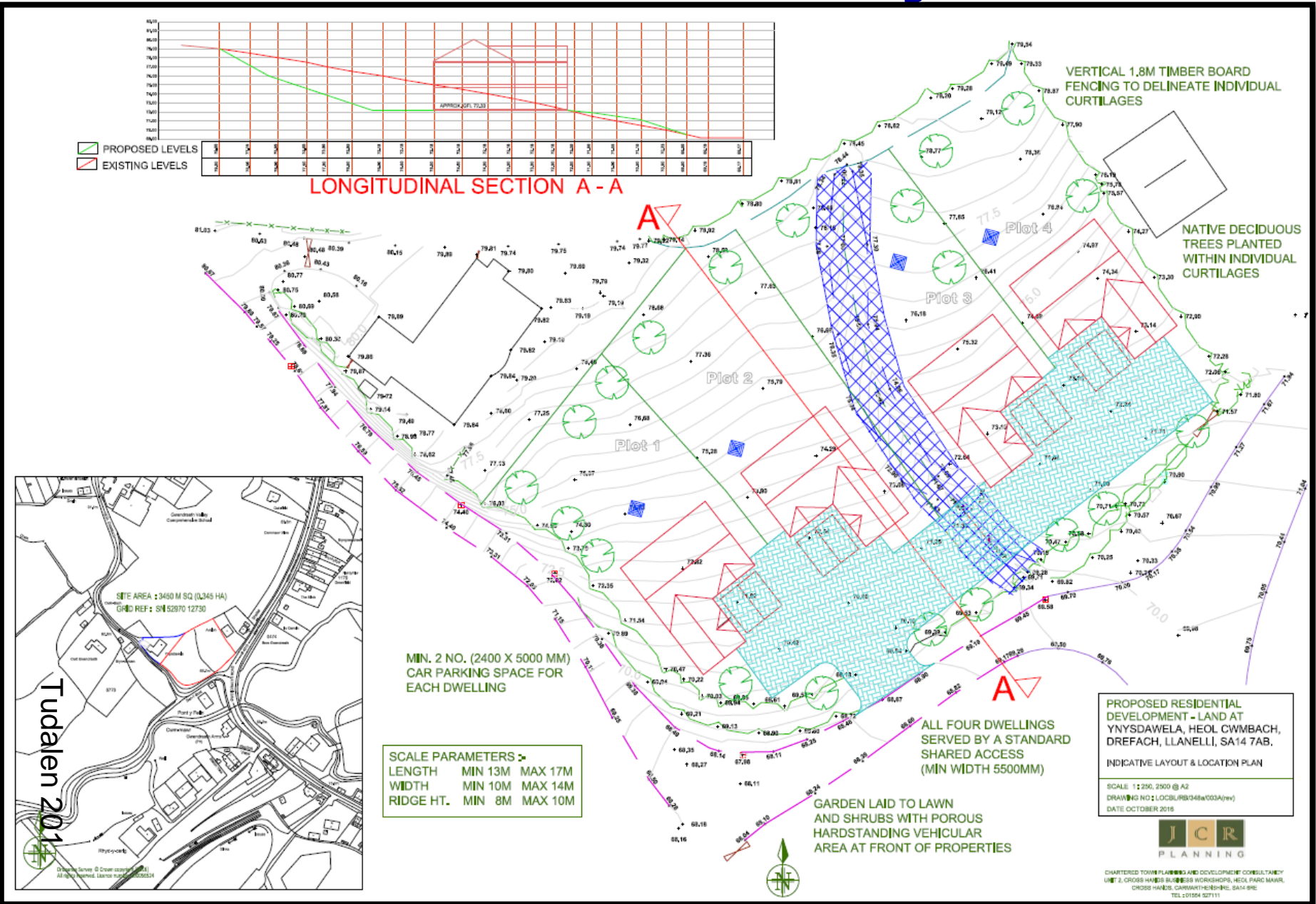
CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

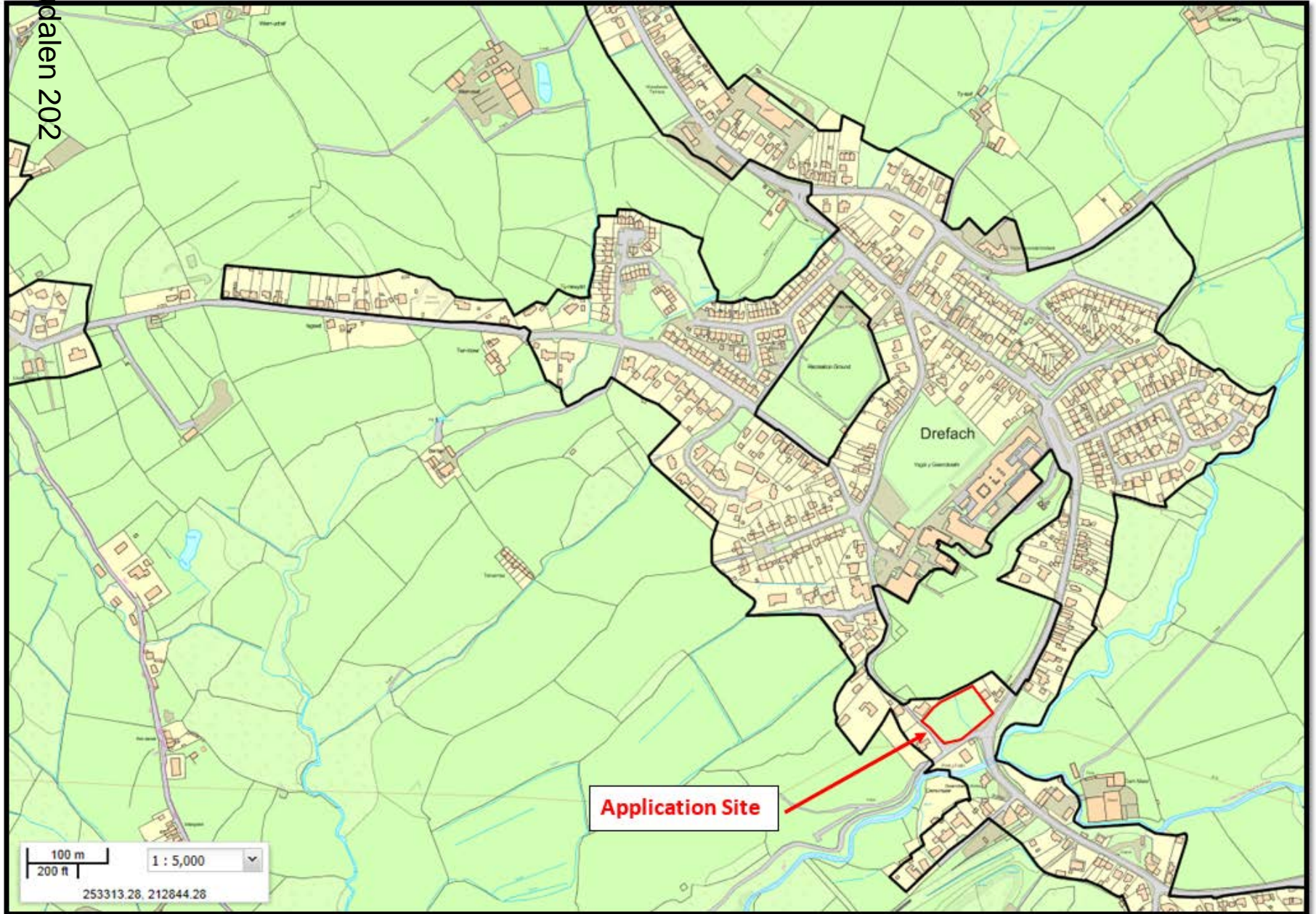
APPLICATIONS RECOMMENDED FOR APPROVAL

W/34603

W/34603

Site Layout Plan





W/34603

Aerial Photograph



Tudalen 2013

W/34603

Application Site viewed from Heol Cwmmawr

Tudalen 204



W/34603

Application Site viewed from Heol Cwmmawr

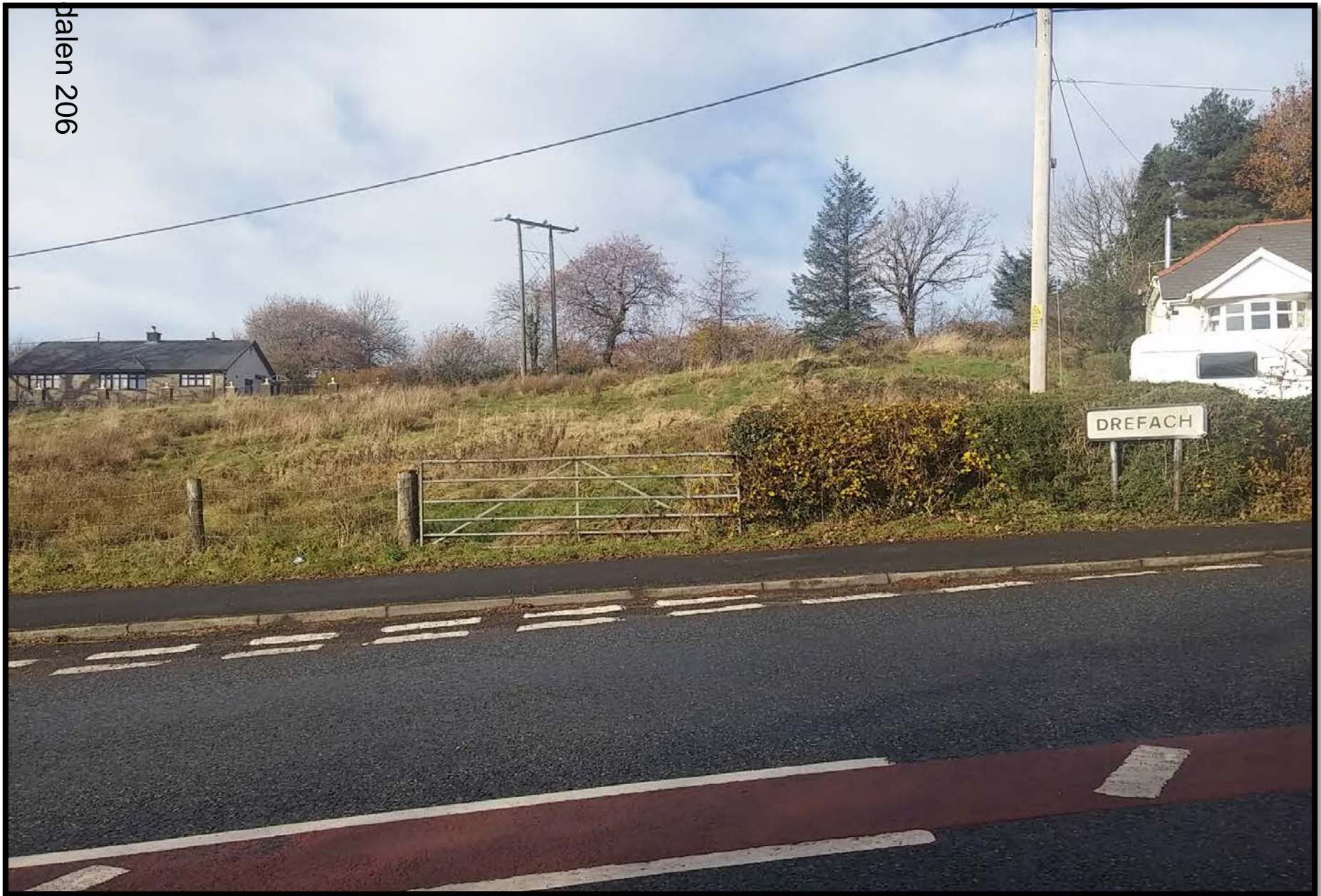


Tudalen 205

W/34603

No.48 Heol Cwmmawr adj to Application Site

Tudalen 206



W/34603 Application Site in relation to No.s 46 & 48 Heol Cwmmawr



Tudalen 207

W/34603 Application Site in relation to Cartref Cwmbach & Ynysdawela

Tudalen 208



W/34603

Heol Cwmbach



Tudalen 209

Mae'r dudalen hon yn wag yn fwriadol